

PROPOSED RESIDENTIAL APARTMENTS AND RETAIL BUILDINGS A, B AND C - COWPER, ROWELL AND EAST STREETS GRANVILLE NSW 2142

SECTION 4.55-C APPLICATION 13/08/2019

DRAWING SCHEDULE

DWG No.	REV.	TITLE	SCALE AT A1
DA0.00	N	COVER SHEET	AS NOTED
DA0.01	A	AERIAL PHOTO	N.T.S.
DA0.01B	C	CONTEXT PLAN	1:400 AT A1
DA0.02	B	SURVEY PLAN	1:250 AT A1
DA0.03	D	SITE ANALYSIS	1:250 AT A1
DA0.04	D	SITE PLAN	1:250 AT A1
DA0.05	A	BASIX SUMMARY	N.T.S.
DA1.02	E	BASEMENT 3 FLOOR PLAN	1:250 AT A1
DA1.03	L	BASEMENT 2 FLOOR PLAN	1:250 AT A1
DA1.04	L	BASEMENT 1 FLOOR PLAN	1:250 AT A1
DA1.05	N	GROUND FLOOR PLAN	1:250 AT A1
DA1.06	L	LEVEL 1 FLOOR PLAN	1:250 AT A1
DA1.07	L	LEVEL 2 FLOOR PLAN	1:250 AT A1
DA1.08	M	LEVEL 3 FLOOR PLAN	1:250 AT A1
DA1.09	N	LEVEL 4 FLOOR PLAN	1:250 AT A1
DA1.10	M	LEVEL 5-13 FLOOR PLANS	1:250 AT A1
DA1.10-1	B	LEVEL 11-13 FLOOR PLANS	1:100 AT A1
DA1.11	M	LEVEL 14 FLOOR PLAN	1:250 AT A1
DA1.12	M	LEVEL 15-20 FLOOR PLANS	1:250 AT A1
DA1.13	M	ROOF PLAN	1:250 AT A1
DA1.20	C	DETAIL PLAN - PUBLIC DOMAIN 01	1:100 AT A1
DA1.21	C	DETAIL PLAN - PUBLIC DOMAIN 02	1:100 AT A1
DA1.22	C	DETAIL PLAN - PUBLIC DOMAIN 03	1:100 AT A1
DA1.23	C	DETAIL PLAN - PUBLIC DOMAIN 04	1:100 AT A1
DA1.24	C	DETAIL PLAN - PUBLIC DOMAIN 05	1:100 AT A1
DA1.25	B	DETAIL PLAN - PUBLIC DOMAIN 06	1:100 AT A1
DA2.01	I	NORTH - COWPER ST ELEVATION	1:250 AT A1
DA2.02	K	SOUTH - EAST STREET ELEVATION	1:250 AT A1
DA2.03	E	EAST - PUBLIC PARK ELEVATION	1:250 AT A1
DA2.04	J	WEST - ROWELL ST ELEVATION	1:250 AT A1
DA3.01	J	SECTION AA	1:250 AT A1
DA3.02	I	SECTION BB	1:250 AT A1
DA3.03	J	SECTION CC	1:250 AT A1
DA3.04	E	SECTION DD	1:250 AT A1
DA3.05	C	SECTION EE	1:250 AT A1
DA3.06	E	SECTION FF	1:250 AT A1
DA3.07	E	SECTION GG	1:250 AT A1
DA3.08	D	DETAIL SECTION HH AND II	1:50 AT A1
DA3.09	D	DETAIL SECTION JJ AND KK	1:50 AT A1
DA3.10	D	DETAIL SECTION LL AND MM	1:50 AT A1
DA3.20	A	DETAIL SECTION NN	1:20 AT A1
DA3.21	B	DETAIL SECTION PP	1:20 AT A1
DA3.22	B	DETAIL SECTION QQ	1:20 AT A1
DA3.23	B	DETAIL SECTION RR	1:20 AT A1
DA4.01	A	SHADOW STUDY - MID WINTER	N.T.S.
DA4.02	A	SHADOW STUDY - MID SUMMER	N.T.S.
DA4.03	A	SHADOW IMPACT STUDY - MID WINTER 01	N.T.S.
DA4.04	A	SHADOW IMPACT STUDY - MID WINTER 02	N.T.S.
DA4.05	A	SHADOW IMPACT STUDY - MID WINTER 03	N.T.S.
DA4.06	A	SHADOW IMPACT STUDY - MID WINTER 04	N.T.S.
DA5.01	J	ADAPTABLE UNIT PLANS	1:100 AT A1
DA6.01	A	PHOTOMONTAGE VIEWS 01	N.T.S.
DA6.02	A	PHOTOMONTAGE VIEWS 02	N.T.S.
DA6.03	B	EXTERIOR FINISHES	N.T.S.
DA7.01	L	GFA DIAGRAMS	1:500 AT A1
DA7.01.1	A	GFA DIAGRAMS	1:500 AT A1
DA7.02	H	SEPP65 DIAGRAMS CROSS VENTILATION	1:500 AT A1
DA7.03	G	SEPP65 DIAGRAMS SOLAR ACCESS	1:500 AT A1
DA8.01	A	PROPOSED LEVEL 1 COMMERCIAL - CHILDCARE LAYOUT	1:250 AT A1

CONSULTANTS

ARCHITECT	TEAM 2 ARCHITECTS 70/11 CHANDOS STREET, ST LEONARDS, NSW 2065 CONTACT: RICHARD WEBSTER, 9437 3166	ACCESSIBILITY	ACCESSIBLE BUILDING SOLUTIONS 124 UPPER WASHINGTON DRIVE, BONNET BAY, NSW 2226 CONTACT: HOWARD MOUTRIE, 9528 0276
PROJECT MANAGER	MAINWAY PROJECT MANAGEMENT LVL 1 SUITE 3, 10 MALLETT STREET CAMPERDOWN, NSW, 2050 CONTACT: MOSES RUBAL, 1300 885 691	ARTS PLANNING	GUPPY AND ASSOCIATES CONTACT: MARLA GUPPY, 0419 206 838
TOWN PLANNER	THINK PLANNERS 9A O'CONNELL STREET, PARRAMATTA, NSW 2150 CONTACT: ADAM BYRNES AND JONATHON WOOD, 9890 8543	CIVIL + HYDRAULIC	MARCHESE PARTNERS ENGINEERING LEVEL 1, 53 WALKER STREET, NORTH SYDNEY, NSW 2060 CONTACT: PAUL SANCANDI, 9922 4375
TRAFFIC	THE TRANSPORT PLANNING PARTNERSHIP SUITE 402,LEVEL 4, 22 ATCHISON ST ST LEONARDS NSW 2065 CONTACT: KEN HOLLYOAK, 8437 7800	QUANTITY SURVEYOR	MMDC SUITE T5, 101 GEORGE STREET, PARRAMATTA, NSW 2150 CONTACT: MICHAEL DAKHOUL, 9633 9233
LANDSCAPE	ARCADIA JONES BAY WHARF, LOWER DECK, SUITE 68, 26-32 PIRRAMA ROAD, PYRMONT, NSW 2009 CONTACT: MICHAEL BARNETT, 8571 2900	BASIX	VICTOR LIN AND ASSOCIATES CONTACT: VICTOR LIN, 0412 988 088
HERITAGE	NBRS + PARTNERS LEVEL 3, 4 GLEN STREET, MILSONS POINT, NSW 2061 CONTACT: BRAD VALE, 9922 2344	FLOOD MANAGEMENT	S&G CONSULTANTS 113, LEVEL 1, BDG A, 20 LEXINGTON DR, BELLA VISTA, NSW 2153 CONTACT: SAM HADDAD, 8883 4239
GEOTECHNICAL	DOUGLAS PARTNERS 96 HERMITAGE ROAD, WEST RYDE, NSW 2114 CONTACT: SCOTT EASTON, 0412 975 391	SURVEYOR	STRATA SURV LEVEL 1, SUITE 103, 49-51 QUEENS ROAD, FIVE DOCK, NSW 2046 CONTACT: ANTHONY ISHAK, 9712 7111
ENVIRONMENTAL	DOUGLAS PARTNERS 96 HERMITAGE ROAD, WEST RYDE, NSW 2114 0414 768 997 CONTACT: DAVID HOLDEN	URBAN DESIGNER	ARCHITECTUS 18, MLC CENTRE, 19 MARTIN PL, SYDNEY NSW 2000 CONTACT: OSCAR STANISH, 9712 7111
WASTE MANAGEMENT	FORESITE PO BOX 1008, NORTH SYDNEY, NSW 2060 CONTACT: SCOTT EBSARY, 8003 7270		

DEVELOPMENT DATA

LEVEL	UNIT MIX					AREA (m²)			SEPP65			
	COMMERCIAL	STUDIO	ONE BED	TWO BED	THREE BED	RES. SUB TOTAL	NSA	GFA	GBA	CROSS VENT.	SOLAR ACCESS	L.H.A. SILVER
B3	-	-	-	-	-	-	-	30	-	-	-	-
B2	-	-	-	-	-	-	-	66	-	-	-	-
B1	-	-	-	-	-	-	-	224	-	-	-	-
G	13	0	0	0	0	0	-	4,378	-	-	-	-
1	2	0	12	12	0	24	-	3,799	-	16	10	0
2	0	0	20	16	0	36	-	3,183	-	22	19	0
3	0	0	20	16	0	36	-	3,140	-	22	19	0
4	0	0	9	20	4	33	-	2,768	-	22	16	8
5	0	0	9	22	3	34	-	2,798	-	22	18	9
6	0	0	9	22	3	34	-	2,798	-	22	18	9
7	0	0	9	22	3	34	-	2,798	-	22	18	9
8	0	0	9	22	3	34	-	2,798	-	22	18	9
9	0	0	9	22	3	34	-	2,798	-	-	18	9
10	0	0	9	22	3	34	-	2,798	-	-	18	9
11	0	0	9	22	3	34	-	2,798	-	-	19	9
12	0	0	9	22	3	34	-	2,798	-	-	22	9
13	0	0	9	22	3	34	-	2,798	-	-	26	9
14	0	0	7	16	3	26	-	2,159	-	-	19	5
15	0	0	7	16	3	26	-	2,159	-	-	19	5
16	0	0	7	16	3	26	-	2,159	-	-	19	5
17	0	0	7	16	3	26	-	2,159	-	-	19	5
18	0	0	7	16	3	26	-	2,159	-	-	19	5
19	0	0	7	16	3	26	-	2,159	-	-	19	5
20	0	0	7	16	3	26	-	2,159	-	-	26	5
TOTAL	15	0	191	374	52	617	-	57,883	-	170	379	124
		0.0%	30.9%	60.6%	8.5%					64.1%	61.4%	20.0%

PARKING TYPE	CAR PARKING		BICYCLE	
	RATE	REQUIRED SPACES	RATE	REQUIRED SPACES
1 BED	0.6	114.6		
2 BED	0.9	336.6		
3 BED	1.4	72.8		
RESIDENTIAL SUBTOTAL		524		309
CARSHARE		03		
RES VISITOR*	0.2	123.4		
MINUS 40% SHARED WITH COMMERCIAL		74.0		
RETAIL/SUPERMARKET	1/60m2	62	89	18.5
CAFÉ (FIRST 100m2)		-	1/200m2	1.4
CAFÉ		-	1/200m2	
CHILDCARE	1/4 children	22	22	6.3
MEDICAL CENTRE	1/70m²	13	13	4.3
COMMERCIAL SUBTOTAL		97	125	31
TOTAL		695	687	340

*40% OF RESIDENTIAL VISITOR SPACES ARE SHARED WITH THE RETAIL SPACES

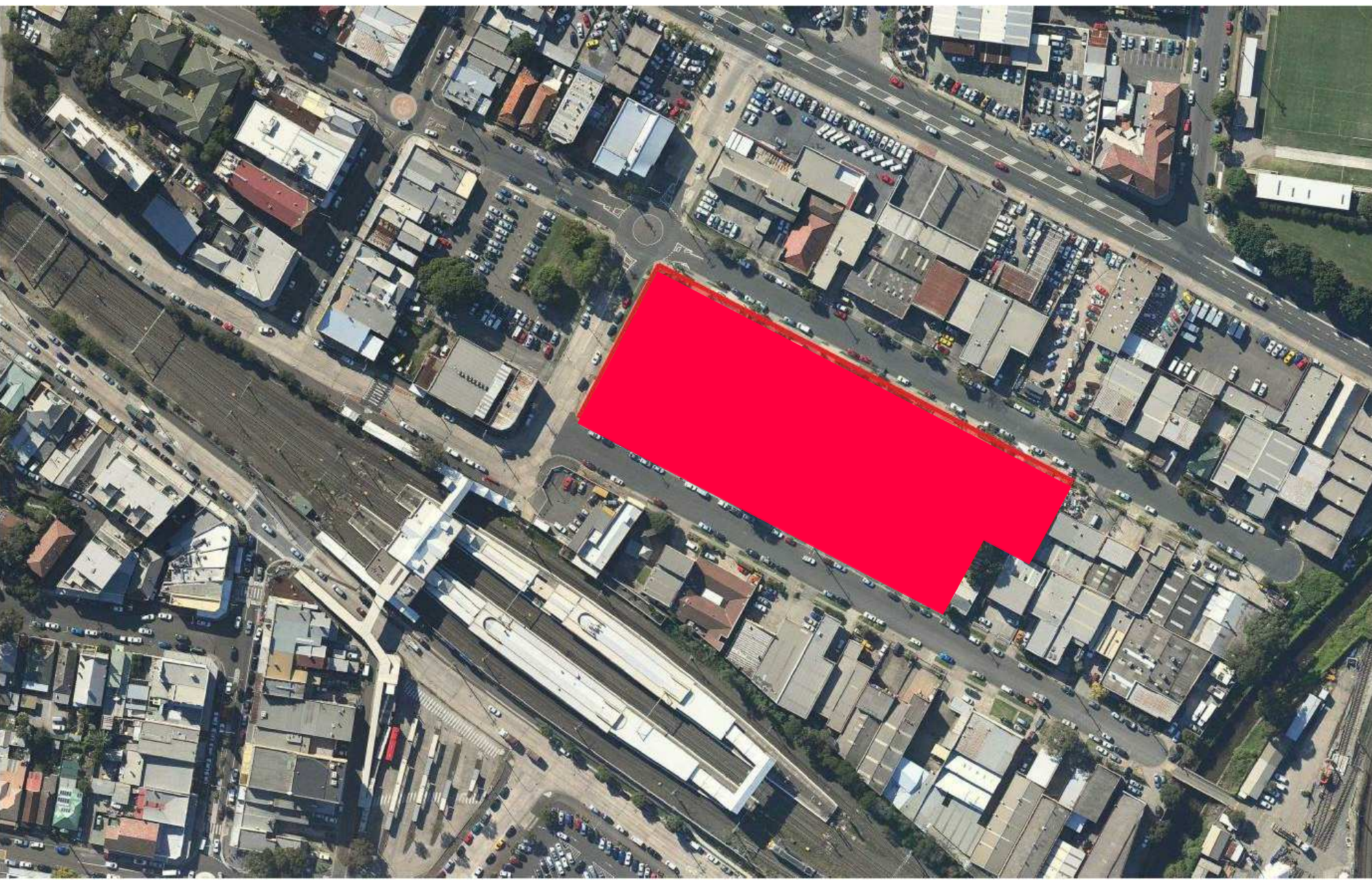
SITE CALCULATIONS

FSR			COMMON OPEN SPACE		LANDSCAPE			DEEP SOIL		
SITE m²	GFA m²	FSR X:1	REQUIRED %	PROPOSED m²	PROPOSED %	REQUIRED %	PROPOSED m²	PROPOSED %	REQUIRED %	PROPOSED m²
9,950	57,883	5.82	25%	6,030	60.6%	40%	6,541	65.7%	7%	788

ADDITIONAL INFORMATION FOR BASIX

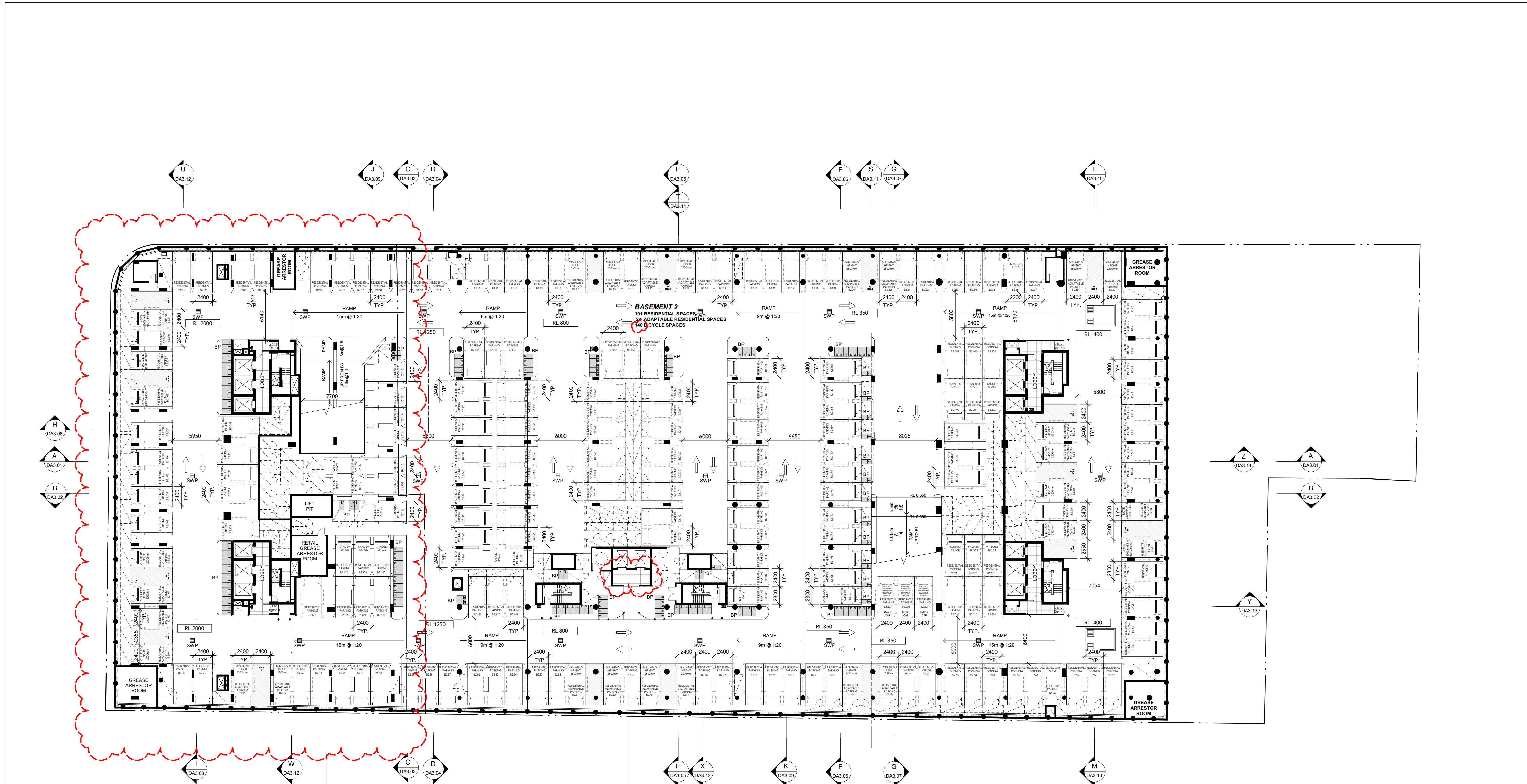
BUILDING STRUCTURE:	
FLOOR CONSTRUCTION GF:	Post tension concrete slab, nominal 200mm
CONSTRUCTION UPPER FLOORS:	Post tension concrete slab, nominal 200mm
EXTERNAL WALL CONSTRUCTION:	Precast concrete panels with plasterboard internal lining
INTERNAL WALL CONSTRUCTION:	90mm steel framed plasterboard
PARTY WALL CONSTRUCTION:	250mm steel hebel and plasterboard lining
INTERNAL CEILING CONSTRUCTION:	13mm suspended plasterboard ceiling
CEILING UNDER THE ROOF CONSTRUCTION	13mm suspended plasterboard ceiling with insulation
ROOF CONSTRUCTION:	*Suspended ceiling under concrete roof provided for insulation.
ROOF COLOUR:	Concrete roof slab with insulation and gravel/ landscaping
RESIDENTIAL LIGHTING:	Dark
Recessed 100mm diameter LED downlights will be installed in all rooms (or name rooms) at a rate of 1 per every 4sq meters of ceiling area.	
RESIDENTIAL EXHAUST VENTS:	
All kitchen, bathroom and laundry vents are sealed.	

SITE LOCATION N.T.S.



PHOTOMONTAGES N.T.S.





NOTES AND UPDATES

ALL RESIDENTIAL and RESIDENTIAL VISITOR CARPARKING SPACES 2.4m x 5.4m UNLESS INDICATED OTHERWISE

ALL RETAIL CARPARKING SPACES 2.6m x 5.4m UNLESS INDICATED OTHERWISE

BP DENOTES PARKING ENVELOPES IN ACCORDANCE WITH AS2890.1

BP DENOTES BICYCLE PARKING SPACES

GENERALLY PARKING ADJUSTED TO SUIT REVISED STRUCTURAL LAYOUT

VERTICAL BICYCLE RACKS ARE TO BE STAGGERED

GENERALLY BIKE SPACE LOCATIONS & ALLOCATIONS UPDATED

TOWER C STRUCTURAL ADJUSTMENTS TO SUIT APARTMENT COLUMNS ABOVE.

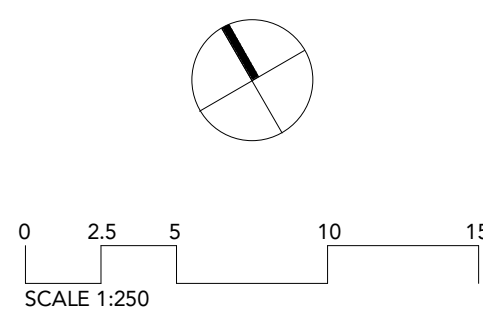
RESIDENTIAL LIFT LOBBY ENCLOSED

KEY TO ARCHITECTURAL DRAWINGS	REVISION	DATE	DESCRIPTION	BY
1. Architectural drawings shall be used in conjunction with other consultant drawings and specifications. Any discrepancies shall be referred to Team 2 Architects before proceeding with work.	A	2016.07.06	DEVELOPMENT APPLICATION	LP
2. All dimensions and levels are in millimeters unless noted otherwise. No dimensions shall be obtained by scaling the drawing.	B	2016.11.10	REQUEST FOR ADDITIONAL INFORMATION	LP
3. All dimensions to be checked on site with any discrepancies referred to Team 2 Architects before proceeding with work.	C	2016.12.20	REQUEST FOR ADDITIONAL INFORMATION	LP
4. All work to be carried out in accordance with the requirements of the principal certifying authority, current codes & Australian standards.	D	2017.02.03	INCORPORATED REVISED HYD. ENG. INFO	LP
	E	2017.12.01	SECTION 96	PS
	F	2018.03.18	SECTION 96	PS
	G	2018.07.12	SECTION 96-2	SD
	H	2018.11.05	AMENDED DA	KD
	I	XXXX.XX.XX	SPARE REVISION	KD
	J	XXXX.XX.XX	SPARE REVISION	KD
	K	2018.12.21	SECTION 4.55-C	KD
	L	2019.05.31	REQUEST FOR ADDITIONAL INFORMATION	KD

SECTION 4.55

MAINWAY
PROJECT MANAGEMENT

TEAM 2
ARCHITECTS
SYDNEY
201/1 Chandos Street
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T: +61 2 9427 3166
E: info@team2.com.au
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MELBOURNE
313/327 Burwood Road
Hawthorn East VIC 3123
ABN: 72 104 833 507
REG VIC: 19340



Builder: TBC

SHOKQI 首开
AUSBAO
developotek
PROPERTY GROUP

PROJECT
Granville Place

DRAWING TITLE

BASEMENT 2 FLOOR PLAN

SCALE

1 : 250 @A1

1 : 500 @A3

JOB

818

DATE

2019.05.31

DRAWN

SO

CHECKED

KD

REVISION

L

DRAWING
DA1.03

This architectural site plan illustrates the layout of a hospital complex, including various rooms, parking areas, and circulation paths. The plan is annotated with red lines and text indicating specific changes or additions.

Key Features and Rooms:

- Medical and Clinical Areas:** 55 Residential Visitor Spaces, 03 Carshare, 122 Retail Spaces (22 Childcare), 03 Medical Centre, 03 Retail Accessible Spaces, 31 Bicycle Spaces.
- Support and Service Rooms:** Tower C Comms Security, Grease Arrestor Room, Tower C Garbage Room, Tower C Switch Room, Tower C Comms Room, Tower B Garbage Room, Tower B Comms Room, Tower A Garbage Room, Fire Hyd. Pump & Spr. Valve Room, Sprinkler Tank, Site Main + Tower A Switch Room, Main C+S Room, Commercial, Car Wash Bay, Water Pump Room, Grease Arrestor Room.
- Common and Circulation Areas:** Lobby, Paystations, Bulky Waste Holding, CPE, Trolley Bay, Ramps, Walkways (1.2m, 1.5m, 1.8m, 2.0m, 2.5m, 3.0m, 3.5m, 4.0m, 4.5m, 5.0m, 5.5m, 6.0m, 6.5m, 7.0m, 7.5m, 8.0m, 8.5m, 9.0m, 9.5m, 10.0m, 10.5m, 11.0m, 11.5m, 12.0m, 12.5m, 13.0m, 13.5m, 14.0m, 14.5m, 15.0m, 15.5m, 16.0m, 16.5m, 17.0m, 17.5m, 18.0m, 18.5m, 19.0m, 19.5m, 20.0m, 20.5m, 21.0m, 21.5m, 22.0m, 22.5m, 23.0m, 23.5m, 24.0m, 24.5m, 25.0m, 25.5m, 26.0m, 26.5m, 27.0m, 27.5m, 28.0m, 28.5m, 29.0m, 29.5m, 30.0m, 30.5m, 31.0m, 31.5m, 32.0m, 32.5m, 33.0m, 33.5m, 34.0m, 34.5m, 35.0m, 35.5m, 36.0m, 36.5m, 37.0m, 37.5m, 38.0m, 38.5m, 39.0m, 39.5m, 40.0m, 40.5m, 41.0m, 41.5m, 42.0m, 42.5m, 43.0m, 43.5m, 44.0m, 44.5m, 45.0m, 45.5m, 46.0m, 46.5m, 47.0m, 47.5m, 48.0m, 48.5m, 49.0m, 49.5m, 50.0m, 50.5m, 51.0m, 51.5m, 52.0m, 52.5m, 53.0m, 53.5m, 54.0m, 54.5m, 55.0m, 55.5m, 56.0m, 56.5m, 57.0m, 57.5m, 58.0m, 58.5m, 59.0m, 59.5m, 60.0m, 60.5m, 61.0m, 61.5m, 62.0m, 62.5m, 63.0m, 63.5m, 64.0m, 64.5m, 65.0m, 65.5m, 66.0m, 66.5m, 67.0m, 67.5m, 68.0m, 68.5m, 69.0m, 69.5m, 70.0m, 70.5m, 71.0m, 71.5m, 72.0m, 72.5m, 73.0m, 73.5m, 74.0m, 74.5m, 75.0m, 75.5m, 76.0m, 76.5m, 77.0m, 77.5m, 78.0m, 78.5m, 79.0m, 79.5m, 80.0m, 80.5m, 81.0m, 81.5m, 82.0m, 82.5m, 83.0m, 83.5m, 84.0m, 84.5m, 85.0m, 85.5m, 86.0m, 86.5m, 87.0m, 87.5m, 88.0m, 88.5m, 89.0m, 89.5m, 90.0m, 90.5m, 91.0m, 91.5m, 92.0m, 92.5m, 93.0m, 93.5m, 94.0m, 94.5m, 95.0m, 95.5m, 96.0m, 96.5m, 97.0m, 97.5m, 98.0m, 98.5m, 99.0m, 99.5m, 100.0m, 100.5m, 101.0m, 101.5m, 102.0m, 102.5m, 103.0m, 103.5m, 104.0m, 104.5m, 105.0m, 105.5m, 106.0m, 106.5m, 107.0m, 107.5m, 108.0m, 108.5m, 109.0m, 109.5m, 110.0m, 110.5m, 111.0m, 111.5m, 112.0m, 112.5m, 113.0m, 113.5m, 114.0m, 114.5m, 115.0m, 115.5m, 116.0m, 116.5m, 117.0m, 117.5m, 118.0m, 118.5m, 119.0m, 119.5m, 120.0m, 120.5m, 121.0m, 121.5m, 122.0m, 122.5m, 123.0m, 123.5m, 124.0m, 124.5m, 125.0m, 125.5m, 126.0m, 126.5m, 127.0m, 127.5m, 128.0m, 128.5m, 129.0m, 129.5m, 130.0m, 130.5m, 131.0m, 131.5m, 132.0m, 132.5m, 133.0m, 133.5m, 134.0m, 134.5m, 135.0m, 135.5m, 136.0m, 136.5m, 137.0m, 137.5m, 138.0m, 138.5m, 139.0m, 139.5m, 140.0m, 140.5m, 141.0m, 141.5m, 142.0m, 142.5m, 143.0m, 143.5m, 144.0m, 144.5m, 145.0m, 145.5m, 146.0m, 146.5m, 147.0m, 147.5m, 148.0m, 148.5m, 149.0m, 149.5m, 150.0m, 150.5m, 151.0m, 151.5m, 152.0m, 152.5m, 153.0m, 153.5m, 154.0m, 154.5m, 155.0m, 155.5m, 156.0m, 156.5m, 157.0m, 157.5m, 158.0m, 158.5m, 159.0m, 159.5m, 160.0m, 160.5m, 161.0m, 161.5m, 162.0m, 162.5m, 163.0m, 163.5m, 164.0m, 164.5m, 165.0m, 165.5m, 166.0m, 166.5m, 167.0m, 167.5m, 168.0m, 168.5m, 169.0m, 169.5m, 170.0m, 170.5m, 171.0m, 171.5m, 172.0m, 172.5m, 173.0m, 173.5m, 174.0m, 174.5m, 175.0m, 175.5m, 176.0m, 176.5m, 177.0m, 177.5m, 178.0m, 178.5m, 179.0m, 179.5m, 180.0m, 180.5m, 181.0m, 181.5m, 182.0m, 182.5m, 183.0m, 183.5m, 184.0m, 184.5m, 185.0m, 185.5m, 186.0m, 186.5m, 187.0m, 187.5m, 188.0m, 188.5m, 189.0m, 189.5m, 190.0m, 190.5m, 191.0m, 191.5m, 192.0m, 192.5m, 193.0m, 193.5m, 194.0m, 194.5m, 195.0m, 195.5m, 196.0m, 196.5m, 197.0m, 197.5m, 198.0m, 198.5m, 199.0m, 199.5m, 200.0m, 200.5m, 201.0m, 201.5m, 202.0m, 202.5m, 203.0m, 203.5m, 204.0m, 204.5m, 205.0m, 205.5m, 206.0m, 206.5m, 207.0m, 207.5m, 208.0m, 208.5m, 209.0m, 209.5m, 210.0m, 210.5m, 211.0m, 211.5m, 212.0m, 212.5m, 213.0m, 213.5m, 214.0m, 214.5m, 215.0m, 215.5m, 216.0m, 216.5m, 217.0m, 217.5m, 218.0m, 218.5m, 219.0m, 219.5m, 220.0m, 220.5m, 221.0m, 221.5m, 222.0m, 222.5m, 223.0m, 223.5m, 224.0m, 224.5m, 225.0m, 225.5m, 226.0m, 226.5m, 227.0m, 227.5m, 228.0m, 228.5m, 229.0m, 229.5m, 230.0m, 230.5m, 231.0m, 231.5m, 232.0m, 232.5m, 233.0m, 233.5m, 234.0m, 234.5m, 235.0m, 235.5m, 236.0m, 236.5m, 237.0m, 237.5m, 238.0m, 238.5m, 239.0m, 239.5m, 240.0m, 240.5m, 241.0m, 241.5m, 242.0m, 242.5m, 243.0m, 243.5m, 244.0m, 244.5m, 245.0m, 245.5m, 246.0m, 246.5m, 247.0m, 247.5m, 248.0m, 248.5m, 249.0m, 249.5m, 250.0m, 250.5m, 251.0m, 251.5m, 252.0m,

BP DENOTES BICYCLE PARKING SPACES

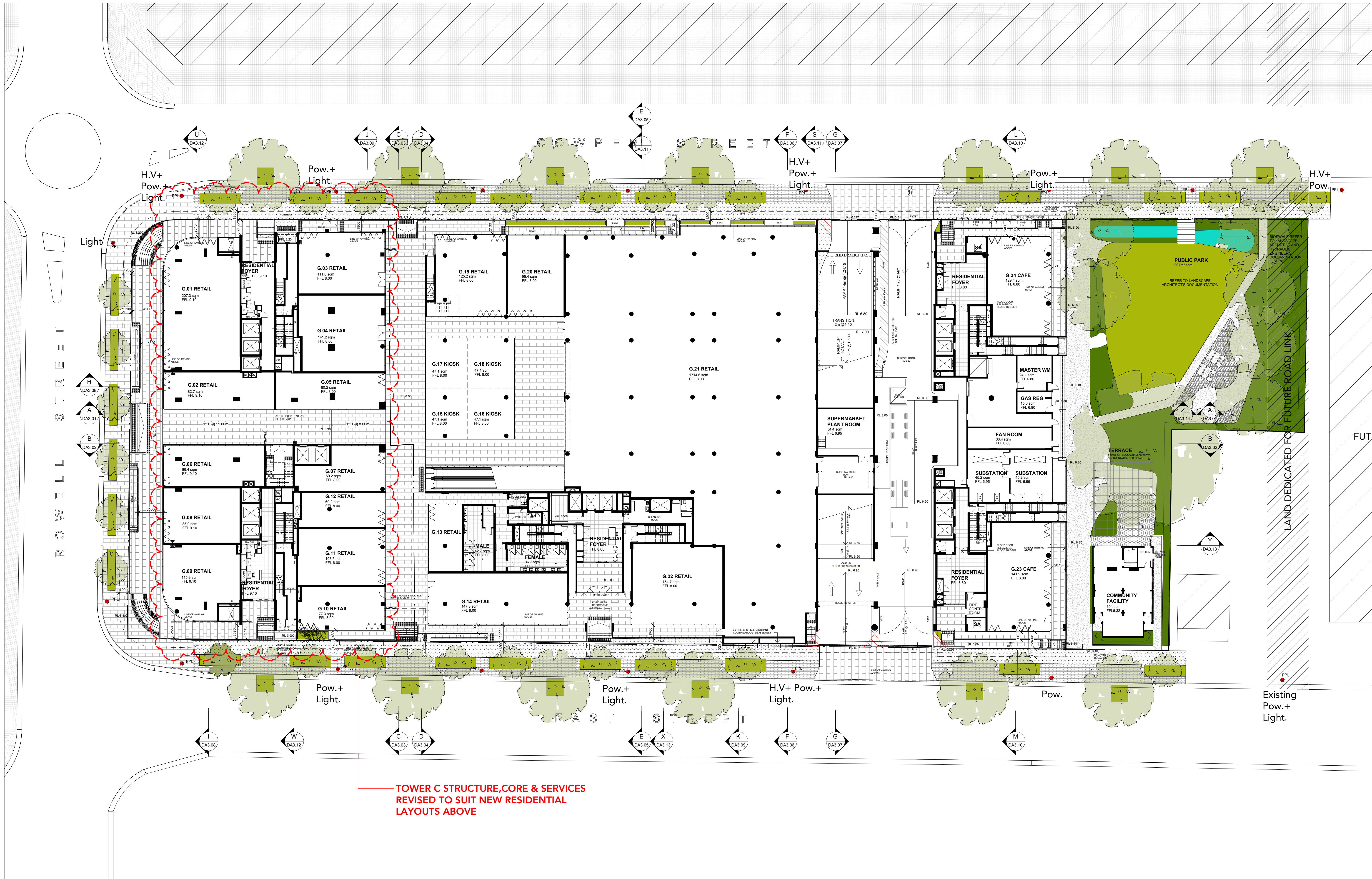
GENERALLY PARKING ADJUSTED TO SUIT
REVISED STRUCTURAL LAYOUT

VERTICAL BICYCLE RACKS ARE TO BE STAGGERED

BIKE SPACE LOCATIONS & ALLOCATIONS
UPDATED GENERALLY

CARSHARE | PARKING RE-
RELOCATED | ALLOCATED

DRAWING TITLE			
BASEMENT 1 FLOOR PLAN			
SCALE	DATE	DRAWN	CHECKED
1 : 250 @A1	2019.05.31	SO	KD
1 : 500 @A3			
JOB	DRAWING	REVISION	
818	DA1.04	L	



TOWER C STRUCTURE, CORE & SERVICES
REVISED TO SUIT NEW RESIDENTIAL
LAYOUTS ABOVE

KEY TO ARCHITECTURAL DRAWINGS				
1. Architectural drawings shall be read in conjunction with other consultant drawings and specifications. Any discrepancies shall be referred to team 2 architects before proceeding with work.				
2. All dimensions and levels are in millimeters unless noted otherwise. No dimensions shall be obtained by scaling the drawing.				
3. All dimensions to be checked on site with any discrepancies referred to team 2 architects before proceeding with work.				
4. All work to be carried out in accordance with the requirements of the principal certifying authority, current codes & standards.				
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REVISION	DATE	DESCRIPTION	BY	
A	2016.07.06	DEVELOPMENT APPLICATION	LP	
B	2016.08.24	REVISED WINDOW SIZES TO MEET BASIX REQUIREMENTS	LP	
C	2016.11.10	REQUEST FOR ADDITIONAL INFORMATION	LP	
D	2016.11.25	REQUEST FOR ADDITIONAL INFORMATION	LP	
E	2016.12.20	REQUEST FOR ADDITIONAL INFORMATION	LP	
F	2017.12.01	SECTION 96	PS	
G	2018.05.14	SECTION 96	PS	
H	2018.06.22	SECTION 96-2	PS	
I	2018.11.07	REQUEST FOR ADDITIONAL INFORMATION	KD	
J	xxxxxx.xx	SPARE REVISION	KD	
K	xxxxxx.xx	SPARE REVISION	KD	
L	2018.12.21	SECTION 4.55-C	KD	
M	2019.02.04	SECTION 4.55-C REVISED	KD	
N	2019.05.31	REQUEST FOR ADDITIONAL INFORMATION	KD	

SECTION 4.55

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0 2.5 5 10 15
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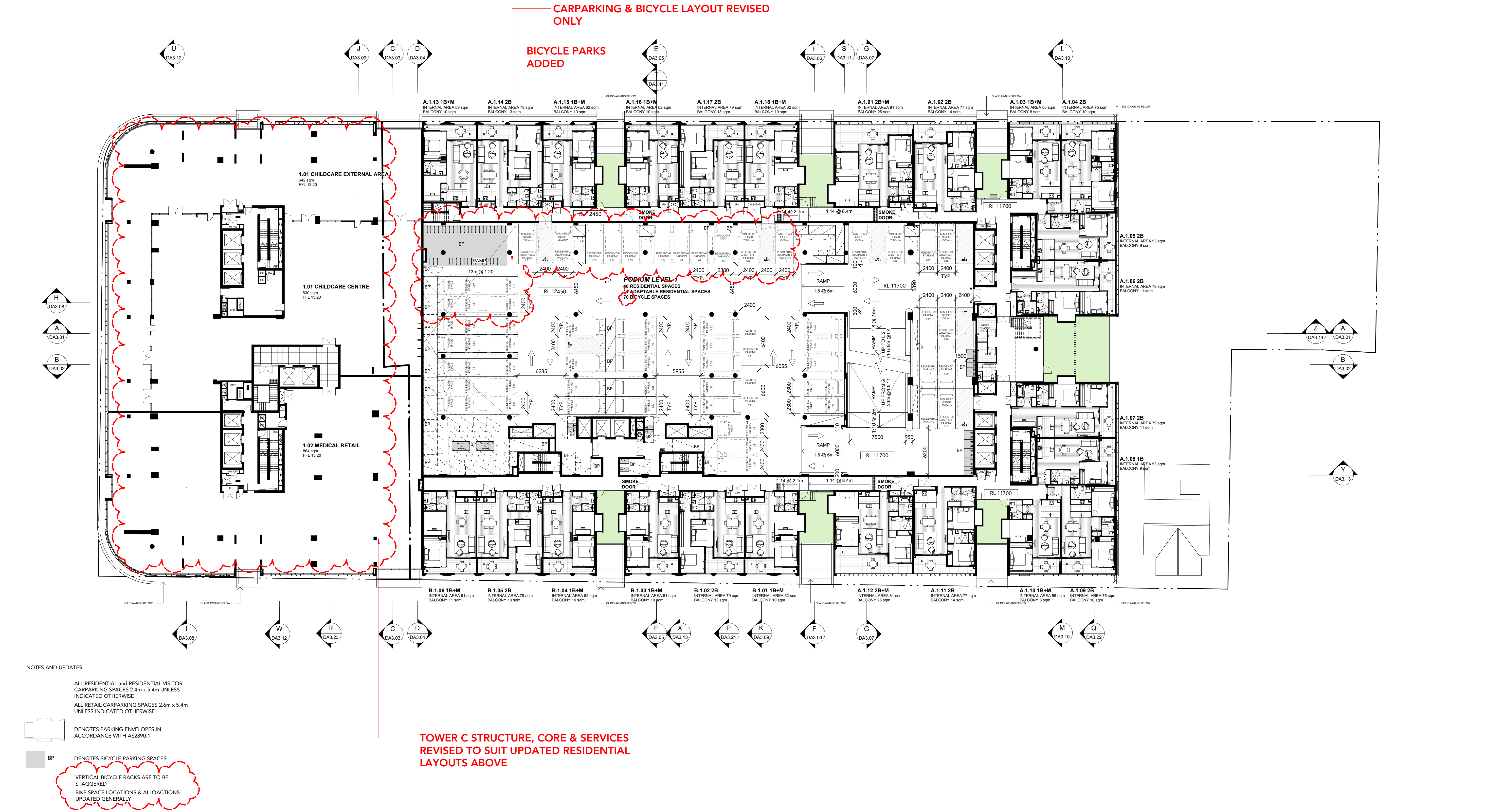
Builder: TBC

SHOKQI 首开
AUSBAO

develotek
PROPERTY GROUP

PROJECT
Granville Place

DRAWING TITLE			
GROUND LEVEL FLOOR PLAN			
SCALE	DATE	DRAWN	CHECKED
1 : 250 @A1	2019.05.31	SO	KD
1 : 500 @A3			
JOB	DRAWING	REVISION	
818	DA1.05	N	



NOTES AND UPDATES

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ALL RETAIL CARPARKING SPACES 2.6m x 5.4m
UNLESS INDICATED OTHERWISE

BP
DENOTES BICYCLE PARKING SPACES

VERTICAL BICYCLE RACKS ARE TO BE
STAGGERED
BIKE SPACE LOCATIONS & ALLOCAIONS
UPDATED GENERALLY

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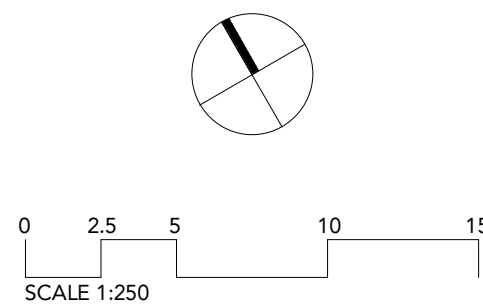
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E	2016.12.20	REQUEST FOR ADDITIONAL INFORMATION	LP
F	2017.12.01	SECTION 96	PS
G	2018.07.12	SECTION 96-2	SD
H	2018.11.05	AMENDED DA	KD
I	XXXX.XX.XX	SPARE REVISION	KD
J	XXXX.XX.XX	SPARE REVISION	KD
K	2018.12.21	SECTION 4.55-C	KD
L	2019.05.31	REQUEST FOR ADDITIONAL INFORMATION	KD

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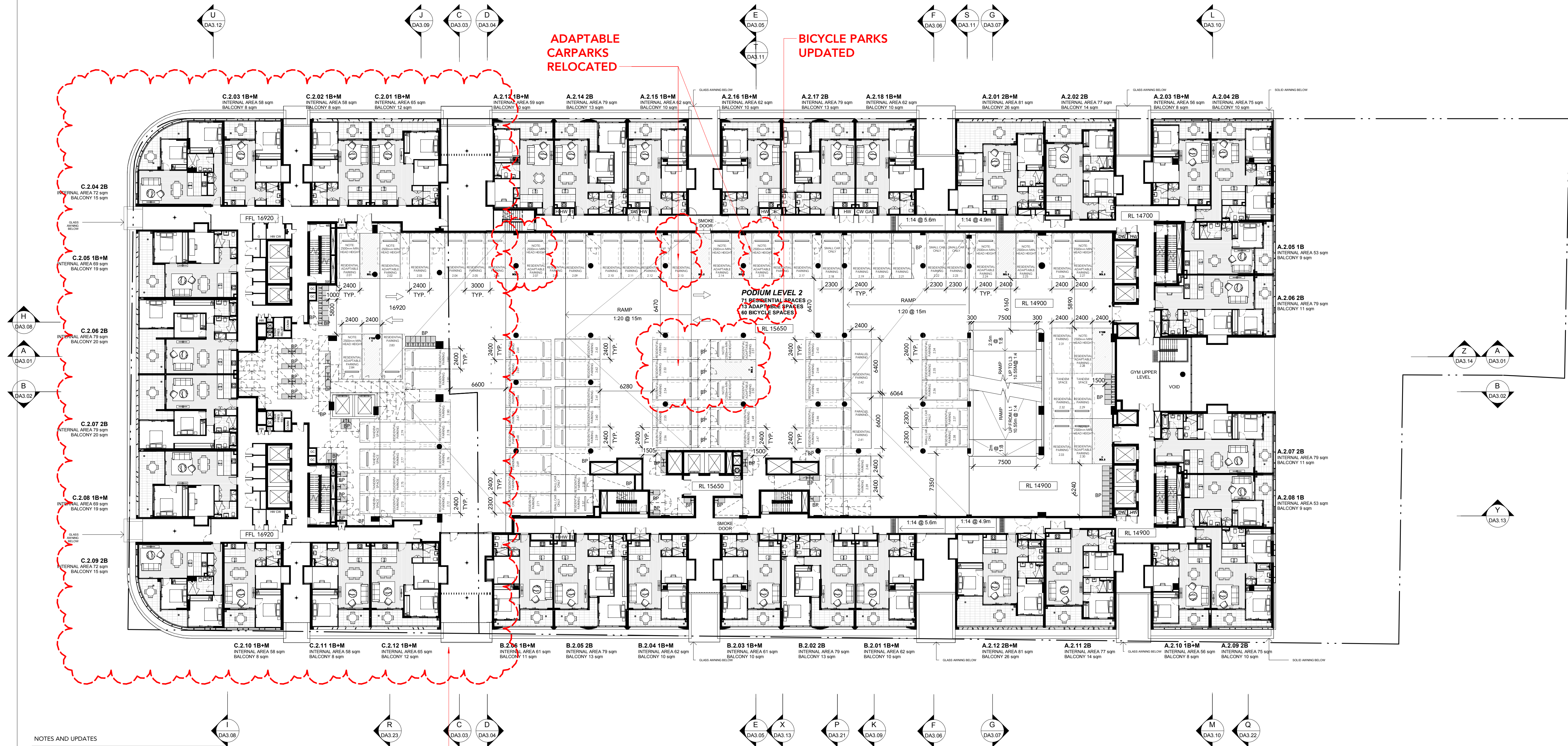
Builder: TBC

SHOKQI 首开 **developotek**
AUSBAO **PROPERTY GROUP**

PROJECT: Granville Place

DRAWING TITLE: LEVEL 1 FLOOR PLAN

SCALE 1 : 250 @A1 1 : 500 @A3	DATE 2019.05.31	DRAWN LL	CHECKED KD
JOB 818	DRAWING DA1.06	REVISION L	



NOTES AND UPDATES

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BP DENOTES PARKING ENVELOPES IN ACCORDANCE WITH AS2890.1

BP DENOTES BICYCLE PARKING SPACES

GENERALLY PARKING ADJUSTED TO SUIT REVISED STRUCTURAL LAYOUT
VERTICAL BICYCLE RACKS ARE TO BE STAGGERED
BIKE SPACE LOCATIONS & ALLOCATIONS UPDATED GENERALLY

TOWER C STRUCTURE, CORE & SERVICES
REVISED TO SUIT NEW RESIDENTIAL LAYOUTS ABOVE. MINOR ADJUSTMENTS TO APARTMENT LAYOUTS TO SUIT STRUCTURE

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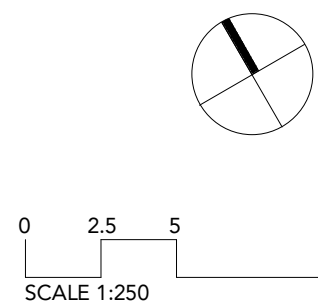
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E	2016.12.20	REQUEST FOR ADDITIONAL INFORMATION	LP
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G	2018.07.12	SECTION 96-2	SD
H	2018.11.05	AMENDED DA	KD
I	XXXX.XX.XX	SPARE REVISION	KD
J	XXXX.XX.XX	SPARE REVISION	KD
K	2018.12.21	SECTION 4.55-C	KD
L	2019.05.31	REQUEST FOR ADDITIONAL INFORMATION	KD

SECTION 4.55

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ABN: 72 104 833 507
REG VIC: 19340



Builder: TBC

SHOKQI 首开
AUSBAO
developotek
PROPERTY GROUP

PROJECT
Granville Place

Drawing Title

LEVEL 2 FLOOR PLAN

SCALE
1 : 250 @A1
1 : 500 @A3

JOB
818

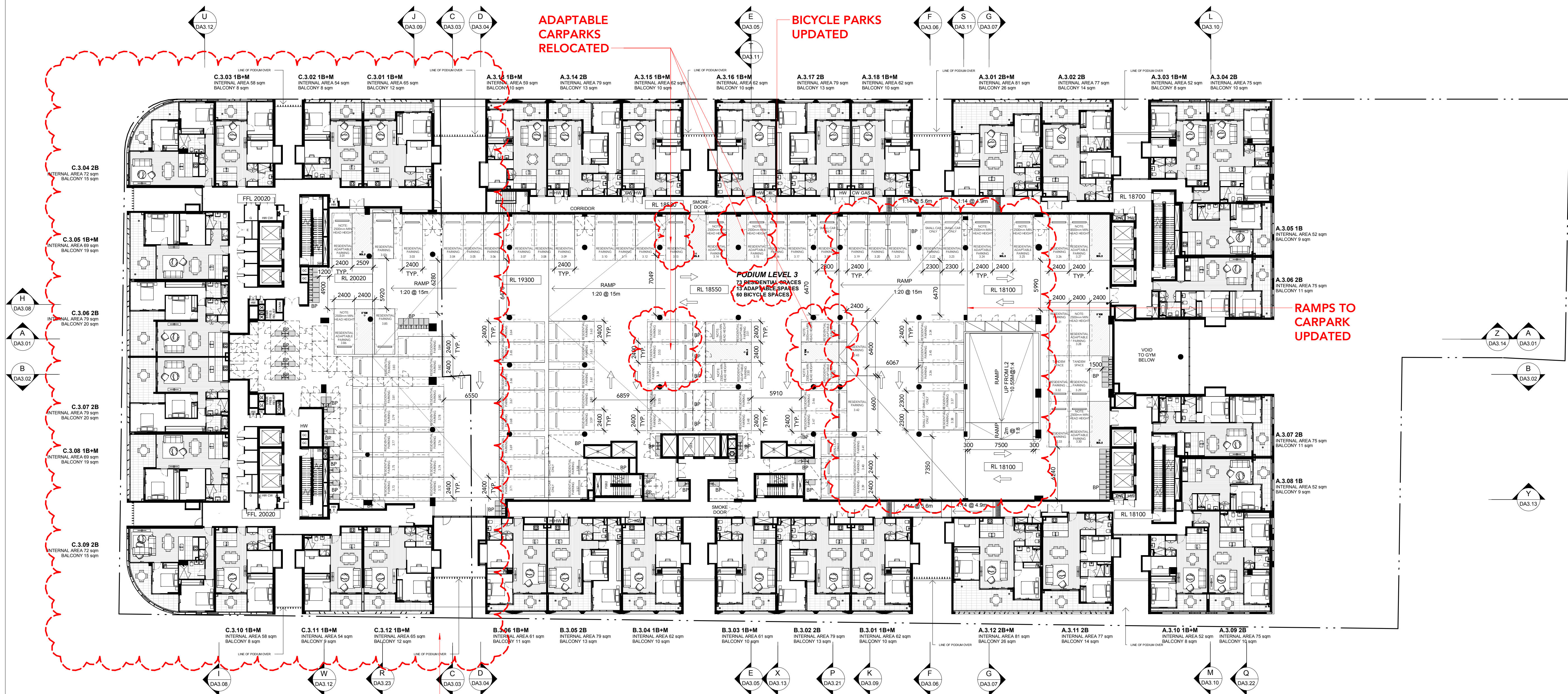
DATE
2019.05.31

DRAWING
DA1.07

DRAWN
JA

CHECKED
KD

REVISION
L



NOTES AND UPDATES

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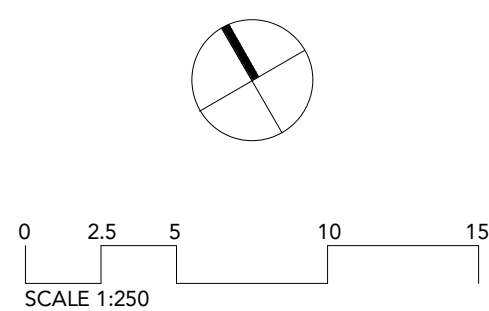
TOWER C STRUCTURE, CORE & SERVICES REVISED TO SUIT NEW RESIDENTIAL LAYOUTS ABOVE. MINOR ADJUSTMENTS TO APARTMENT LAYOUTS TO SUIT STRUCTURE

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D	2016.11.25	REQUEST FOR ADDITIONAL INFORMATION	LP
E	2016.12.20	REQUEST FOR ADDITIONAL INFORMATION	LP
F	2017.08.11	SECTION 96	PS
G	2018.05.14	SECTION 96	PS
H	2018.06.21	SECTION 96-2	PS
I	2018.11.05	REQUEST FOR ADDITIONAL INFORMATION	KD
J	2018.11.05	SPARE REVISION	KD
K	2018.11.05	SPARE REVISION	KD
L	2018.12.21	SECTION 4.55-C	KD
M	2019.05.31	REQUEST FOR ADDITIONAL INFORMATION	KD

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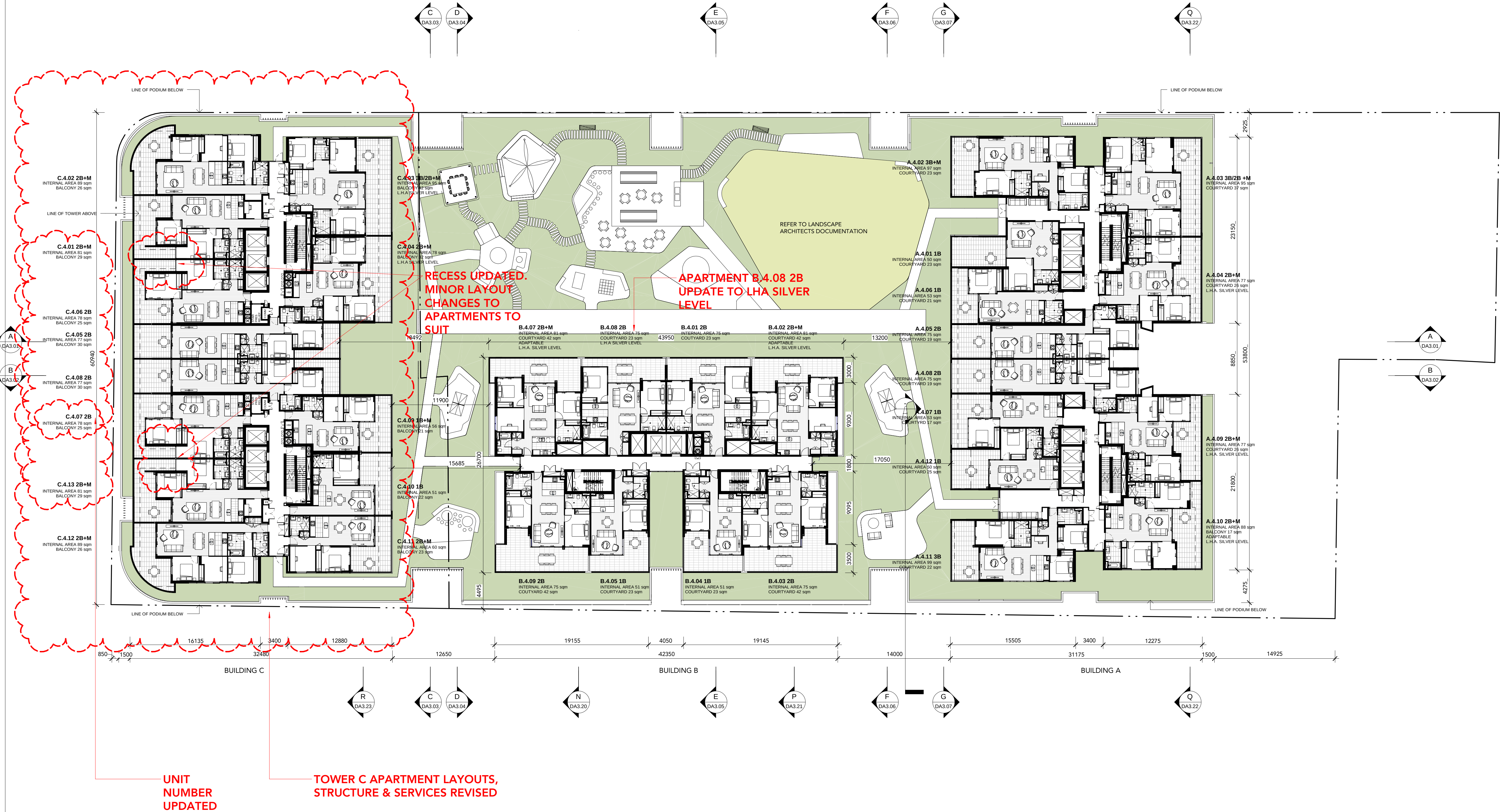
Builder: TBC

SHOKQI 首开 **develotek**
AUSBAO **PROPERTY GROUP**

PROJECT: Granville Place

DRAWING TITLE: LEVEL 3 FLOOR PLAN

SCALE: 1:250 @A1 1:500 @A3	DATE: 2019.05.31	DRAWN: SO	CHECKED: KD
JOB: 818	DRAWING: DA1.08	REVISION: M	



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C	2016.11.10	REQUEST FOR ADDITIONAL INFORMATION	LP
D	2016.11.25	REQUEST FOR ADDITIONAL INFORMATION	LP
E	2016.12.20	REQUEST FOR ADDITIONAL INFORMATION	LP
F	2017.12.01	SECTION 96	PS
G	2018.02.15	SECTION 96	PS
H	2018.05.14	SECTION 96	PS
I	2018.08.07	SECTION 96	PS
J	xxxx.xx.xx	SPARE REVISION	KD
K	xxxx.xx.xx	SPARE REVISION	KD
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N	2019.08.13	REQUEST FOR ADDITIONAL INFORMATION	SO

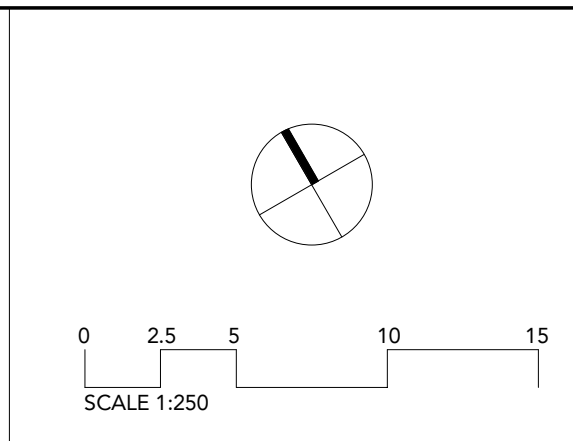
SECTION 4.55

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REG VIC: 19340



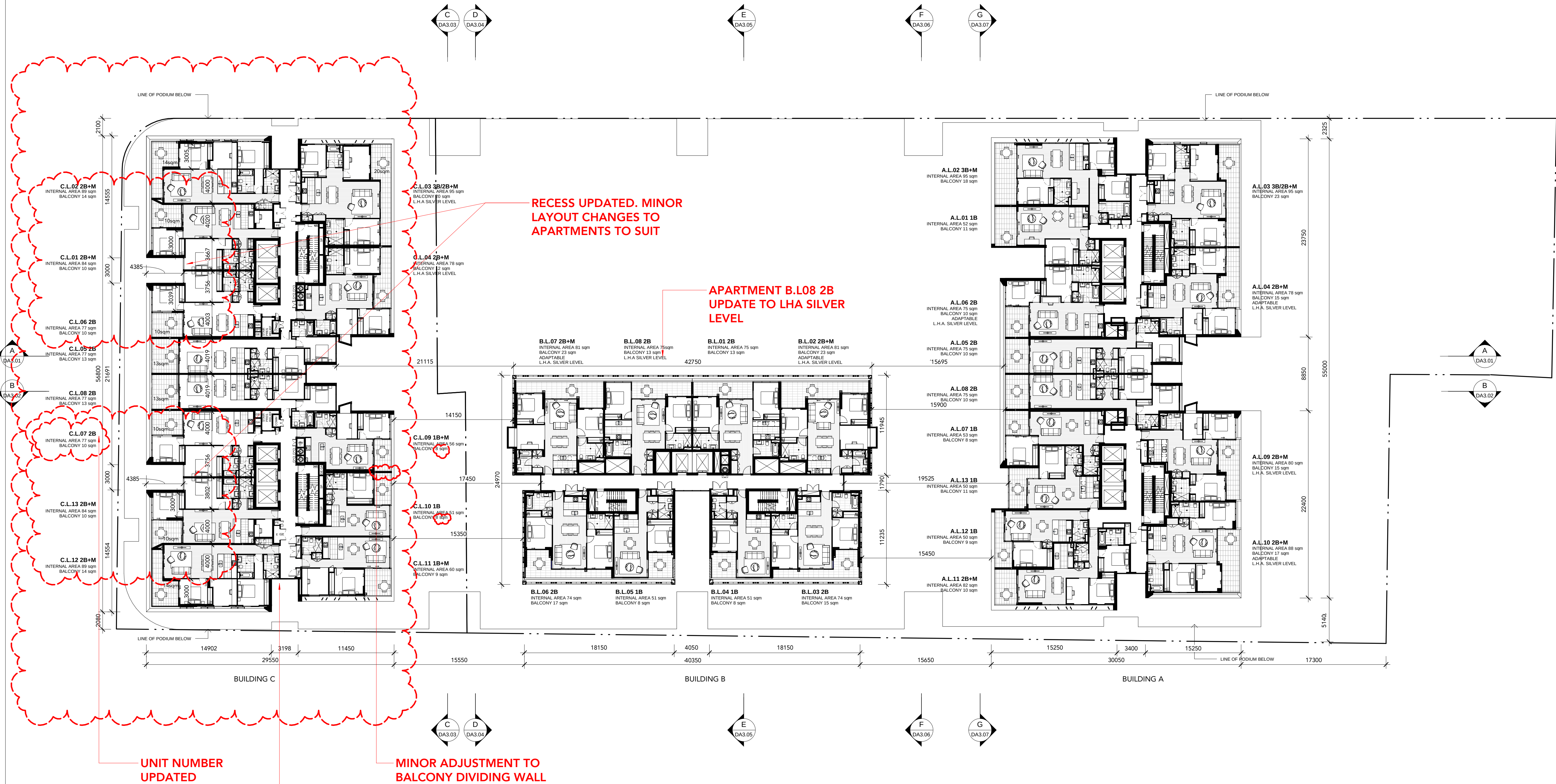
Builder: TBC

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AUSBAO

develotek
PROPERTY GROUP

PROJECT
Granville Place

DRAWING TITLE			
LEVEL 4 FLOOR PLAN			
SCALE	DATE	DRAWN	CHECKED
1 : 250 @A1	2019.08.13	SO	KD
1 : 500 @A3			
JOB	DRAWING		REVISION
818	DA1.09		N



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C	2016.11.10	REQUEST FOR ADDITIONAL INFORMATION	LP
D	2016.11.25	REQUEST FOR ADDITIONAL INFORMATION	LP
E	2017.12.01	SECTION 9-6	PS
F	2018.05.14	SECTION 9-6	PS
G	2018.08.07	SECTION 9-6	PS
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I	xxxx.xx.xx	SPARE REVISION	KD
J	2018.12.21	SECTION 4.55-C	KD
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M	2019.08.13	REQUEST FOR ADDITIONAL INFORMATION	SO

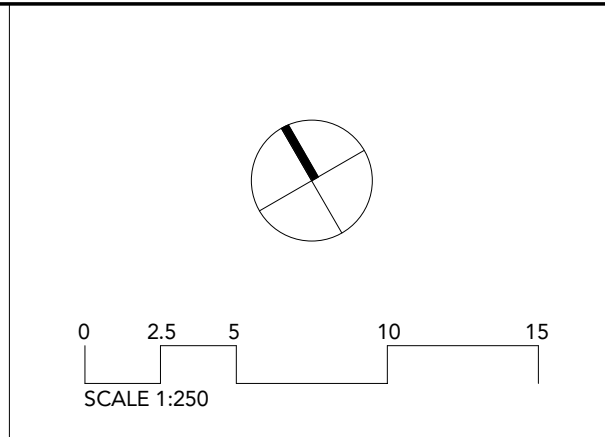
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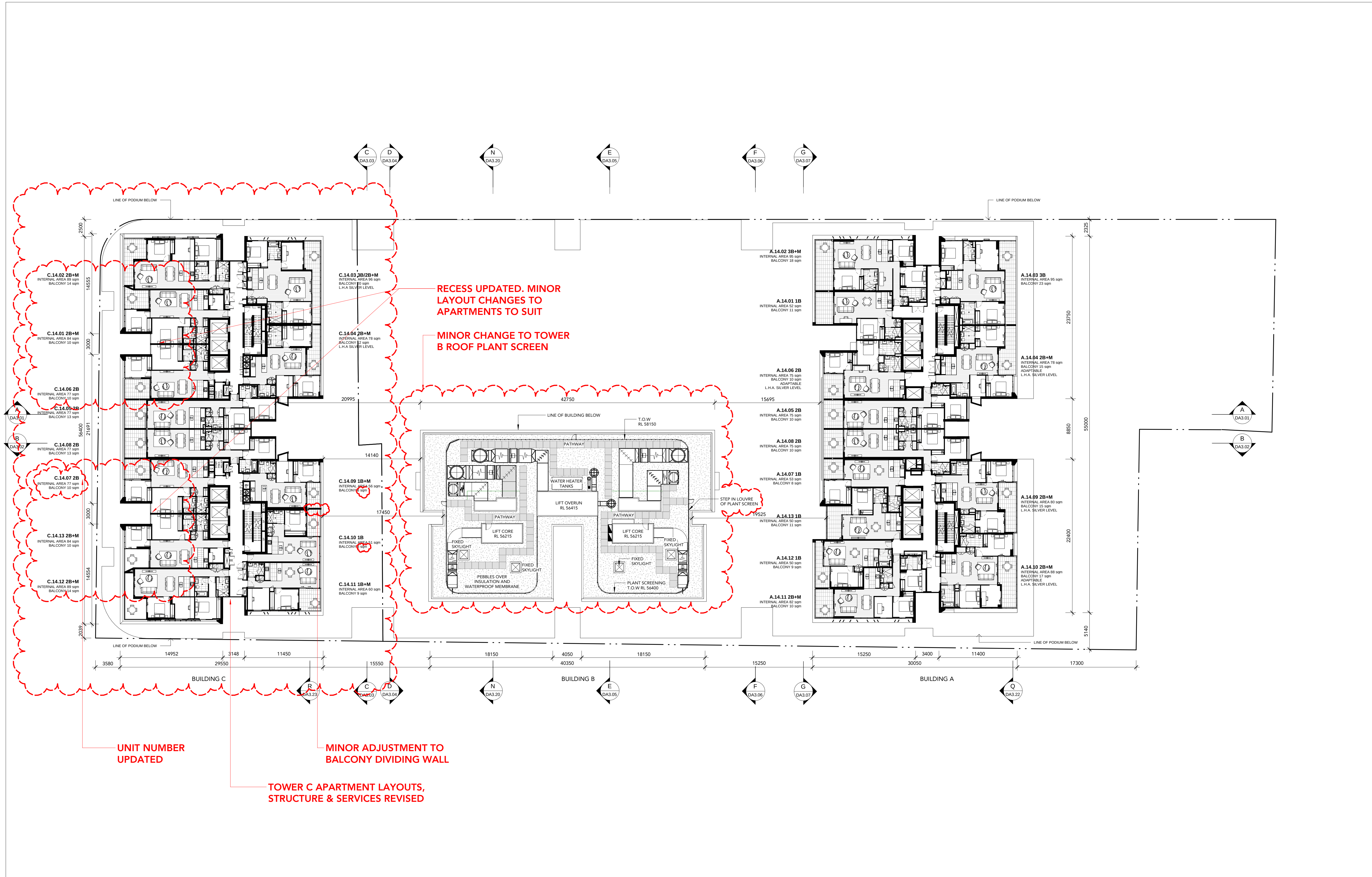


Builder: TBC

SHOKQI 首开 **developotek**
AUSBAO **PROPERTY GROUP**

PROJECT
Granville Place

DRAWING TITLE				
LEVEL 5-13 FLOOR PLAN				
SCALE	DATE	DRAWN	CHECKED	
1 : 250 @A1	2019.08.13	SO	KD	
1 : 500 @A3				
JOB	DRAWING	REVISION		
818	DA1.10	M		



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D	2016.11.25	REQUEST FOR ADDITIONAL INFORMATION	LP
E	2017.12.01	SECTION 96	PS
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G	2018.05.14	SECTION 96	PS
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I	xxxx.xx.xx	SPARE REVISION	KD
J	xxxx.xx.xx	SPARE REVISION	KD
K	2018.12.21	SECTION 4.55-C	KD
L	2019.05.31	REQUEST FOR ADDITIONAL INFORMATION	KD
M	2019.08.13	REQUEST FOR ADDITIONAL INFORMATION	SO

SECTION 4.55

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Builder: TBC

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PROJECT
Granville Place

SCALE
1:250 @A1

DATE
2019.08.13

DRAWN
SO

CHECKED
KD

REVISION
M

DRAWING TITLE
LEVEL 14 FLOOR PLAN

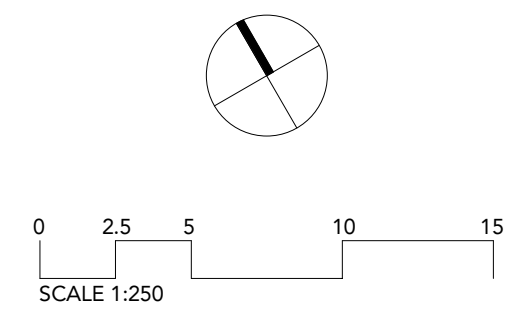
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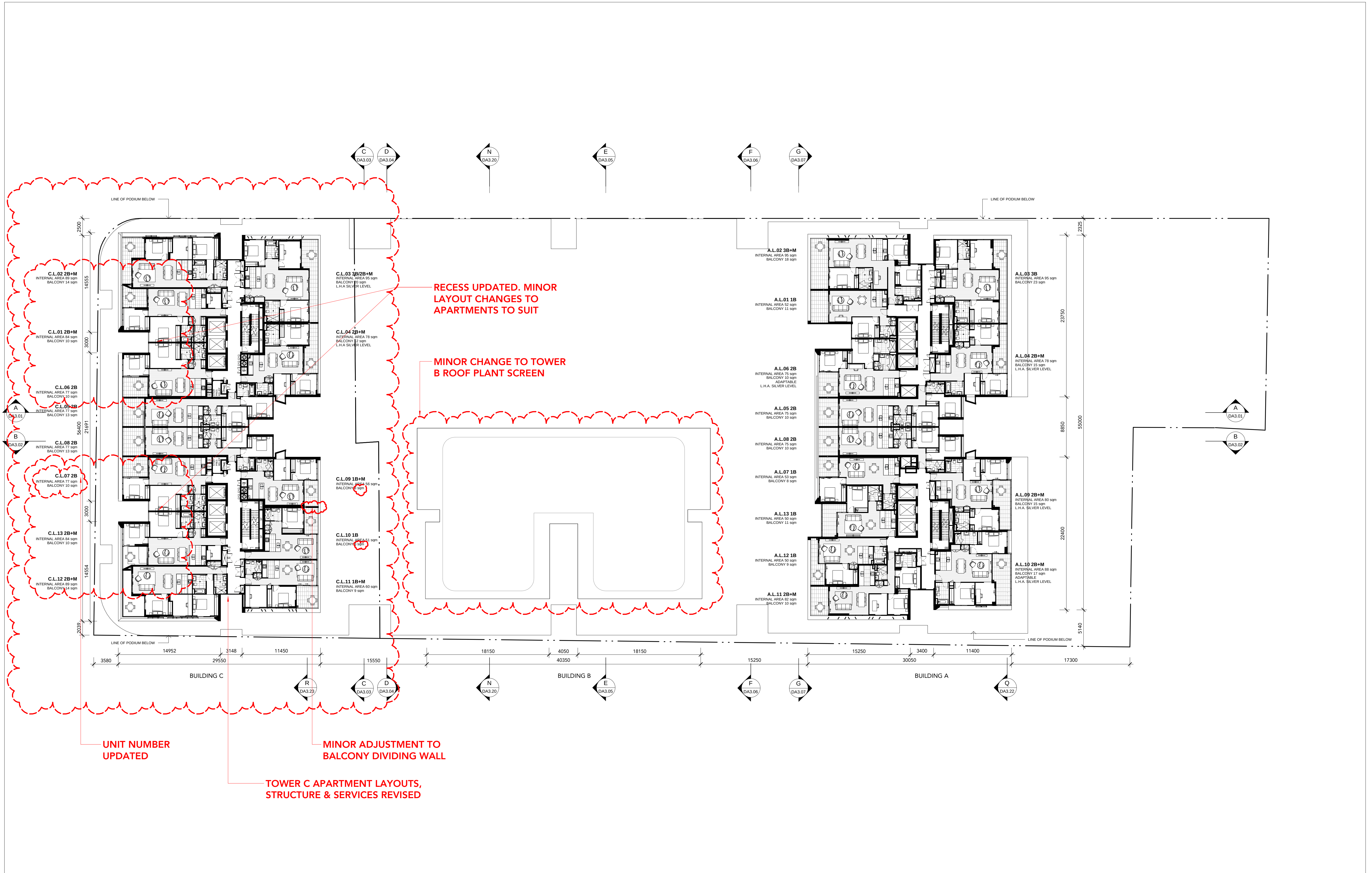
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SO

CHECKED
KD

REVISION
M





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L	2019.02.04	SECTION 4.55-C REVISED	KD
M	2019.08.13	REQUEST FOR ADDITIONAL INFORMATION	SO

SECTION 4.55

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Builder: TBC

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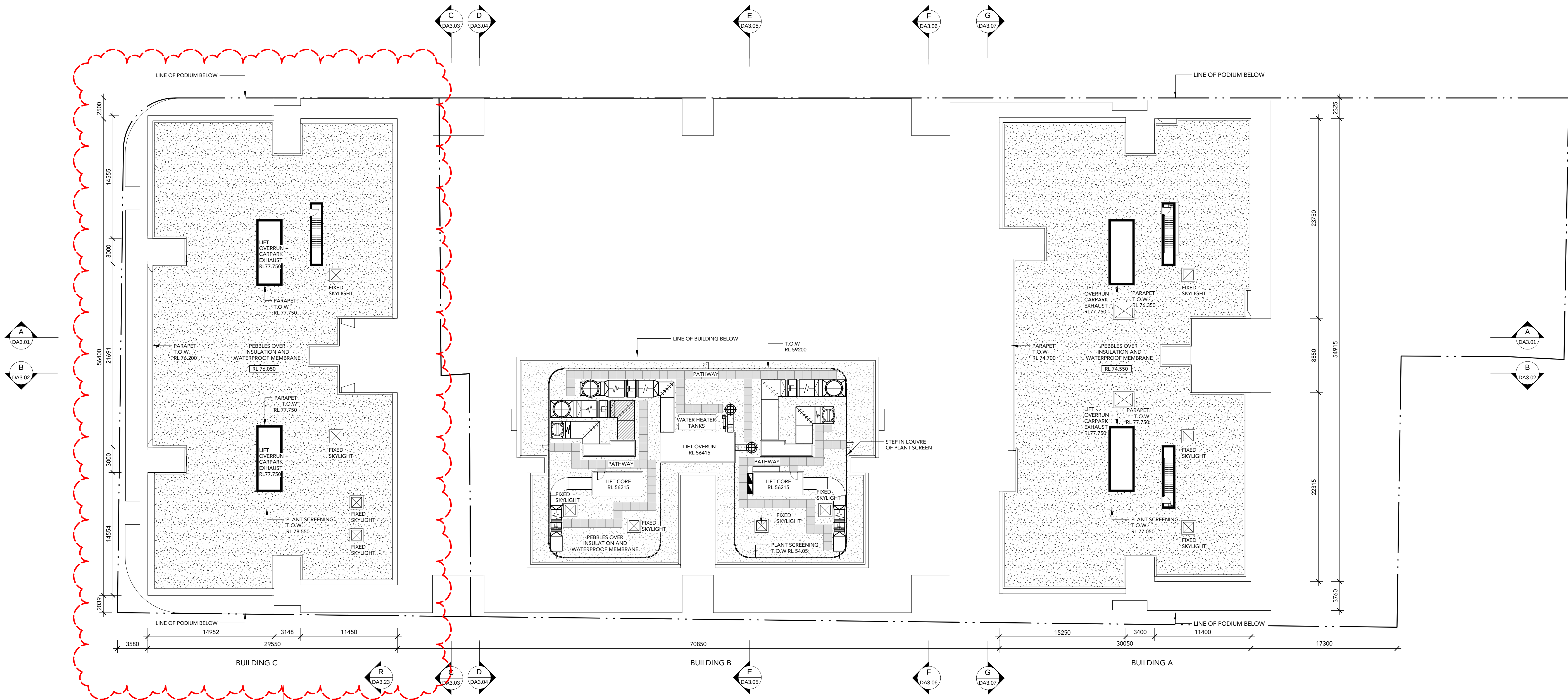
AUSBAO

developotek

PROPERTY GROUP

PROJECT
Granville Place

DRAWING TITLE		SCALE		DATE	DRAWN	CHECKED
LEVEL 15-20 FLOOR PLAN		1 : 250 @A1		2019.08.13	SO	KD
JOB	DRAWING	REVISION				
818	DA1.12	M				



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D	2016.11.25	REQUEST FOR ADDITIONAL INFORMATION	LP
E	2016.12.20	REQUEST FOR ADDITIONAL INFORMATION	LP
F	2017.08.11	SECTION 96	PS
G	2018.02.15	SECTION 96	PS
H	2018.05.14	SECTION 96	PS
I	2018.08.07	SECTION 96	PS
J	xxxx.xx.xx	SPARE REVISION	KD
K	xxxx.xx.xx	SPARE REVISION	KD
L	2018.12.21	SECTION 4.55-C	KD
M	2019.05.31	REQUEST FOR ADDITIONAL INFORMATION	KD
N	xxxx.xx.xx	SPARE REVISION	KD
O	2019.07.10	MOD E	KD
P	2019.11.22	SECTION 4.55C	KD

SECTION 4.55

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ABN: 72 104 833 507
REG VIC: 19340

0 2.5 5 10 15

SCALE 1:250

Builder TBC

SHOKQI 首开

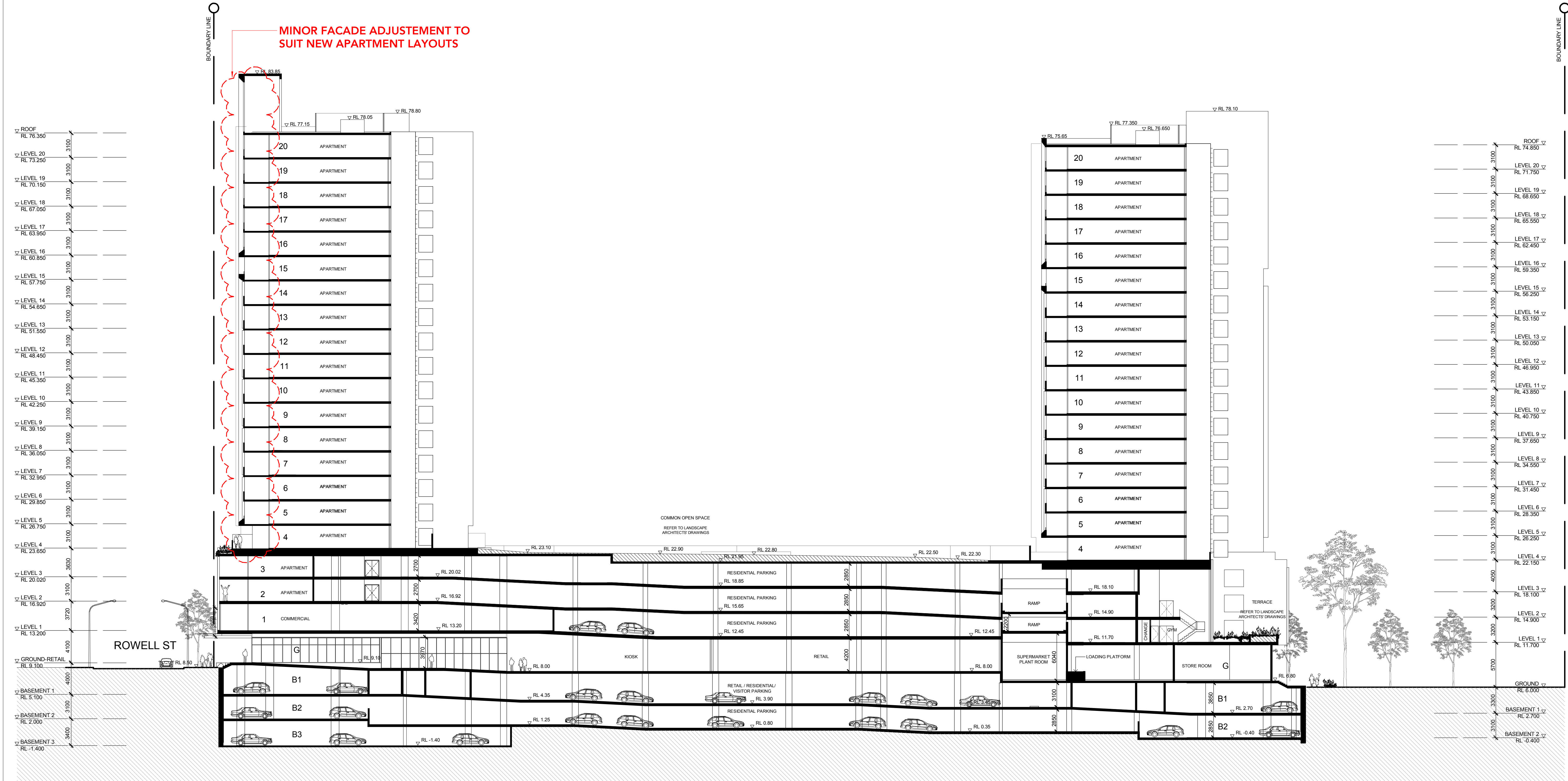
AUSBAO

develotek

PROPERTY GROUP

PROJECT
Granville Place

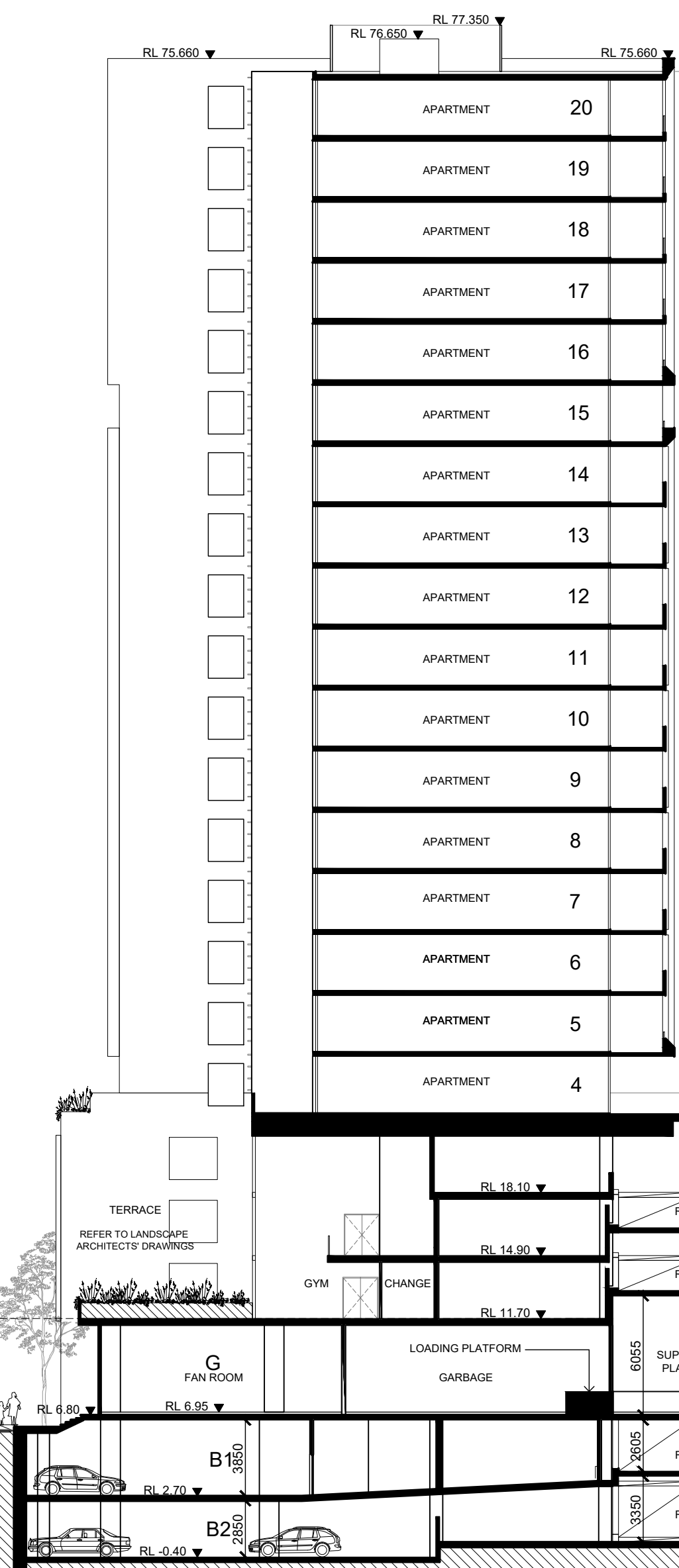
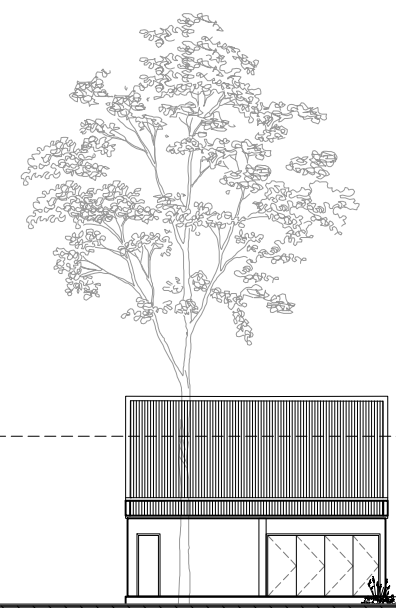
DRAWING TITLE		SCALE		DATE	DRAWN	CHECKED
ROOF PLAN		1 : 250 @A1		2019.11.22	SO	KD
		1 : 500 @A3				
JOB	DRAWING					
818	DA1.13					P



KEY TO ARCHITECTURAL DRAWINGS 1. Architectural drawings shall be read in conjunction with other consultant drawings and specifications. Any discrepancies shall be referred to team 2 architects before proceeding with work. 2. All dimensions and levels are in millimeters unless noted otherwise. No dimension shall be obtained by scaling the drawing. 3. All dimensions to be checked on site with any discrepancies referred to team 2 architects before proceeding with work. 4. All work to be carried out in accordance with the requirements of the principal certifying authority, current code & Australian standards.		REVISION A 2016.07.06 DEVELOPMENT APPLICATION LP B 2016.11.10 REQUEST FOR ADDITIONAL INFORMATION LP C 2016.11.25 REQUEST FOR ADDITIONAL INFORMATION LP D 2016.12.20 REQUEST FOR ADDITIONAL INFORMATION LP E 2018.07.12 SECTION 96-2 SD F 2018.11.05 AMENDED DEVELOPMENT APPLICATION KD G xxxxx.xxx.xx SPARE REVISION KD H xxxxx.xxx.xx SPARE REVISION KD I 2018.12.21 SECTION 4.55-C KD K 2019.05.31 REQUEST FOR ADDITIONAL INFORMATION SO		SECTION 4.55 MAINWAY PROJECT MANAGEMENT		TEAM 2 ARCHITECTS SYDNEY 701/1 Chandos Street St Leonards NSW 2065 T: + 61 2 9437 3166 E: info@team2.com.au REG NSW: 9940 MELBOURNE 313/337 Burwood Road Hawthorn East VIC 3123 ABN: 72 104 833 507 REG VIC: 19340		CLIENT SHOKQI 首开 AUSBAO develotek PROPERTY GROUP		DRAWING TITLE SECTION AA		SCALE 1 : 250 @A1		DATE 2019.05.31		DRAWN LL		CHECKED KD		JOB 818		DRAWING DA3.01		REVISION K	
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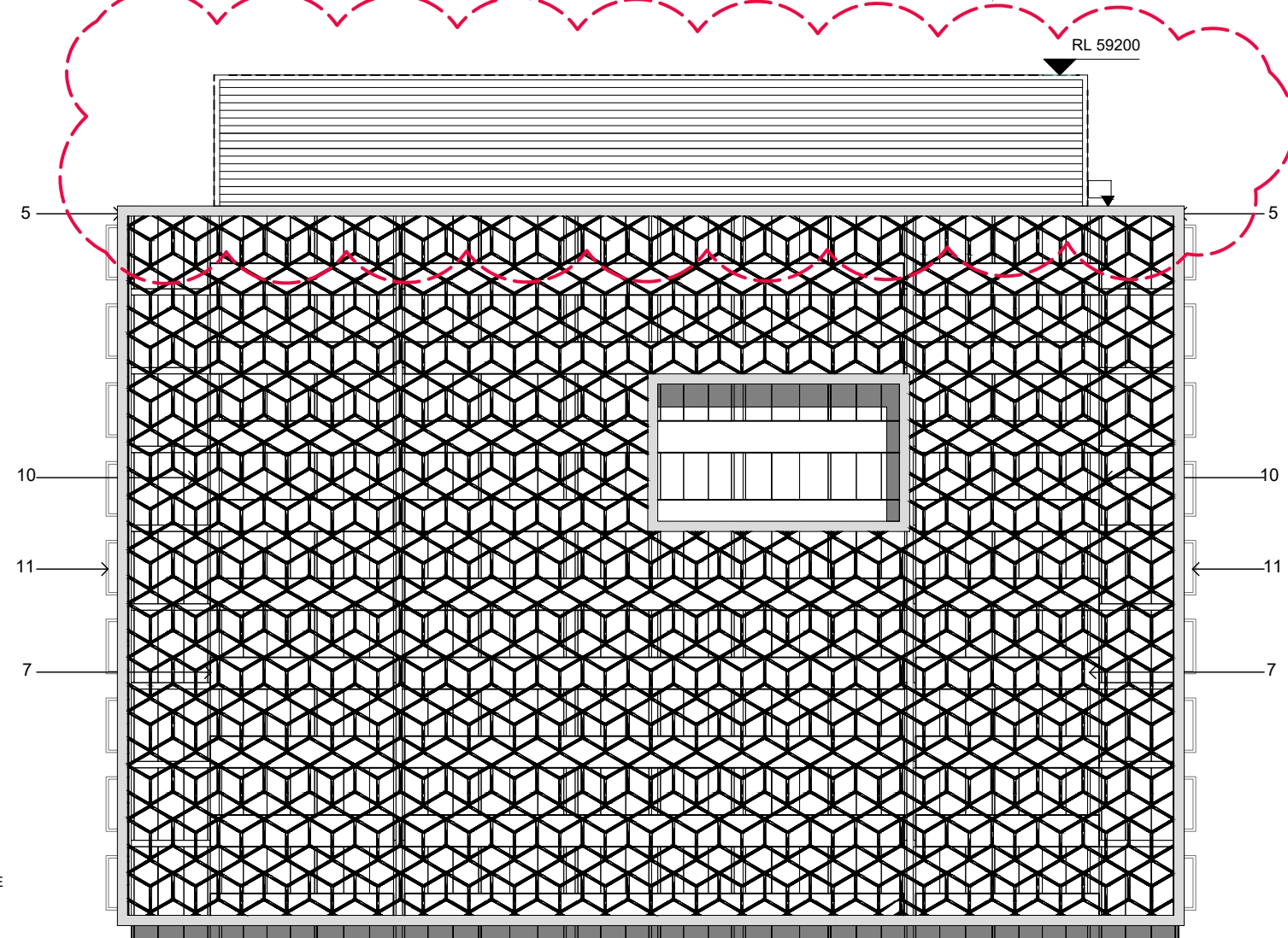
BOUNDARY LINE

▽ ROOF	RL 74.850
▽ LEVEL 20	RL 71.750
▽ LEVEL 19	RL 68.850
▽ LEVEL 18	RL 65.550
▽ LEVEL 17	RL 62.450
▽ LEVEL 16	RL 59.350
▽ LEVEL 15	RL 56.250
▽ LEVEL 14	RL 53.150
▽ LEVEL 13	RL 50.050
▽ LEVEL 12	RL 46.950
▽ LEVEL 11	RL 43.850
▽ LEVEL 10	RL 40.750
▽ LEVEL 9	RL 37.650
▽ LEVEL 8	RL 34.550
▽ LEVEL 7	RL 31.450
▽ LEVEL 6	RL 28.350
▽ LEVEL 5	RL 25.250
▽ LEVEL 4	RL 22.150
▽ LEVEL 3	RL 18.100
▽ LEVEL 2	RL 14.900
▽ LEVEL 1	RL 11.700
▽ GROUND	RL 6.000
▽ BASEMENT 1	RL 2.700
▽ BASEMENT 2	RL -0.400



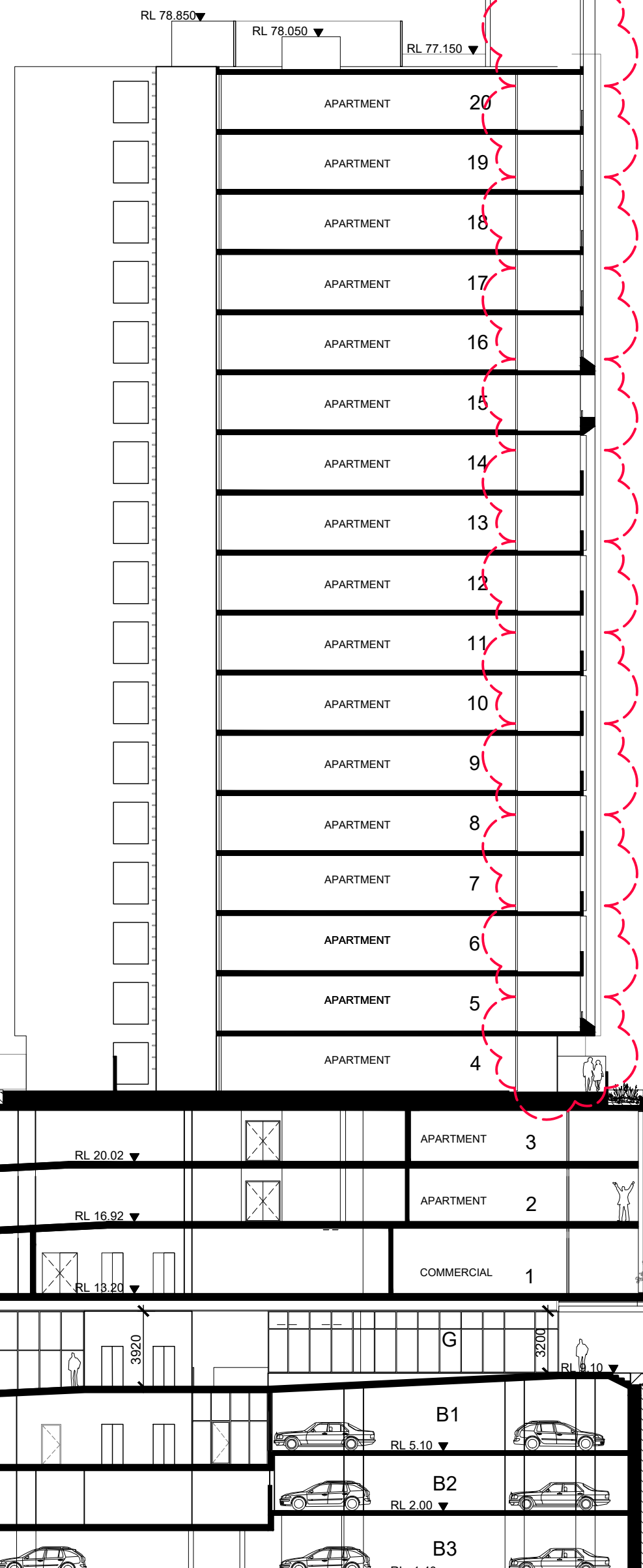
COMMON OPEN SPACE
REFER TO LANDSCAPE
ARCHITECTS' DRAWINGS

MINOR CHANGE TO TOWER B ROOF
PLANT SCREEN



COMMON OPEN SPACE
REFER TO LANDSCAPE
ARCHITECTS' DRAWINGS

FACADE ALIGNMENT UPDATED TO
SUIT NEW APARTMENT LAYOUTS



ROWELL ST

ROOF	▽	RL 76.350
LEVEL 20	▽	RL 73.250
LEVEL 19	▽	RL 70.150
LEVEL 18	▽	RL 67.050
LEVEL 17	▽	RL 63.950
LEVEL 16	▽	RL 60.850
LEVEL 15	▽	RL 57.750
LEVEL 14	▽	RL 54.650
LEVEL 13	▽	RL 51.550
LEVEL 12	▽	RL 48.450
LEVEL 11	▽	RL 45.350
LEVEL 10	▽	RL 42.250
LEVEL 9	▽	RL 39.150
LEVEL 8	▽	RL 36.050
LEVEL 7	▽	RL 32.950
LEVEL 6	▽	RL 29.850
LEVEL 5	▽	RL 26.750
LEVEL 4	▽	RL 23.650
LEVEL 3	▽	RL 20.020
LEVEL 2	▽	RL 16.920
LEVEL 1	▽	RL 13.200
GROUND-RETAIL	▽	RL 9.100
BASEMENT 1	▽	RL 5.100
BASEMENT 2	▽	RL 2.000
BASEMENT 3	▽	RL -1.400

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4. All work to be carried out in accordance with the requirements of the principal certifying authority, current not & Australian standards.

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REVISION	DATE	DESCRIPTION	BY
A	2016.07.06	DEVELOPMENT APPLICATION	LP
B	2016.11.10	REQUEST FOR ADDITIONAL INFORMATION	LP
C	2016.11.25	REQUEST FOR ADDITIONAL INFORMATION	LP
D	2016.12.20	REQUEST FOR ADDITIONAL INFORMATION	LP
E	2018.07.12	SECTION 4-5-2	SD
F	2018.11.05	AMENDED DEVELOPMENT APPLICATION	KD
G	XXXXXX.XX.XX	SPARE REVISION	KD
H	XXXXXX.XX.XX	SPARE REVISION	KD
J	2018.12.21	SECTION 4-5-5-C	KD

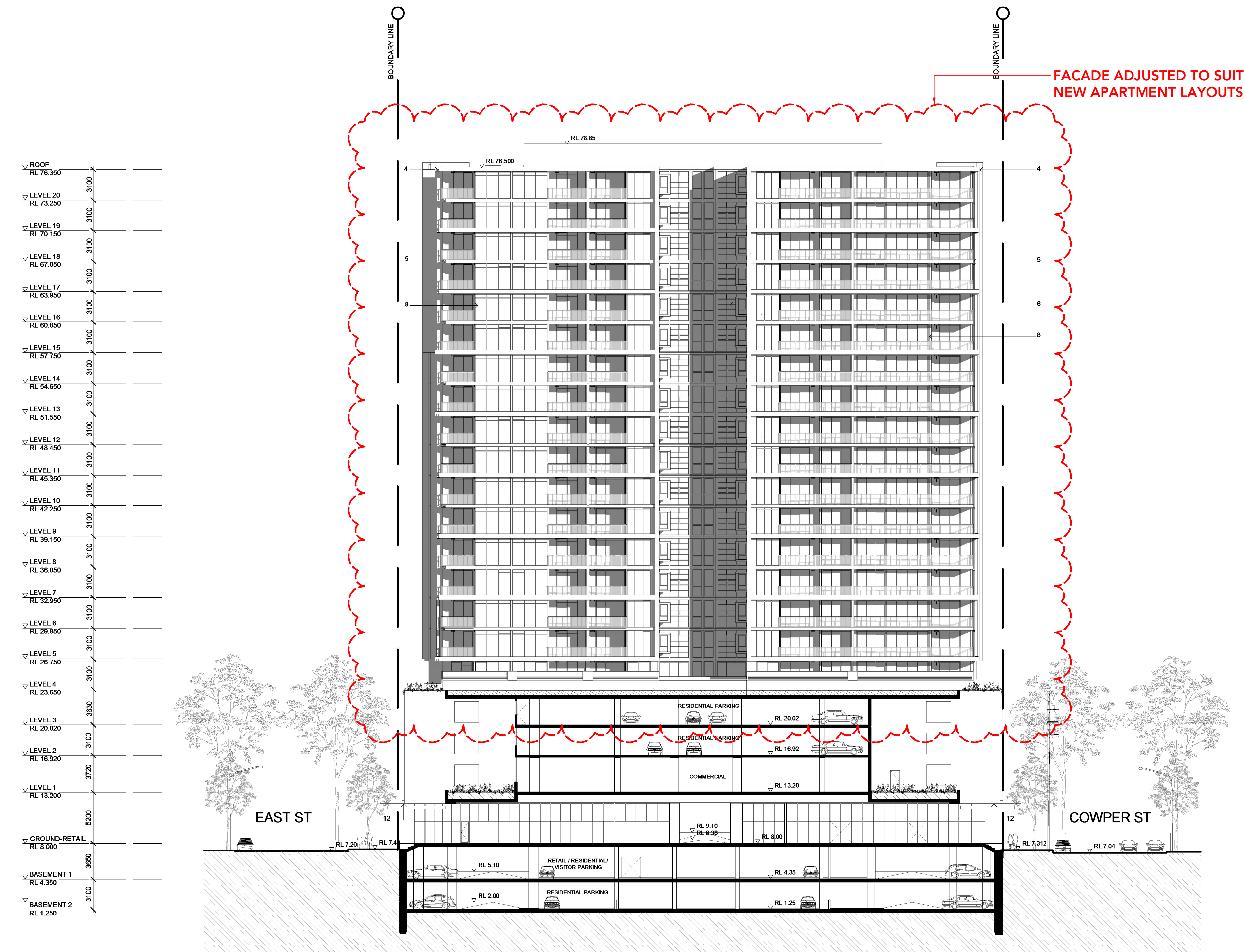
SECTION 4.55

MAINWAY
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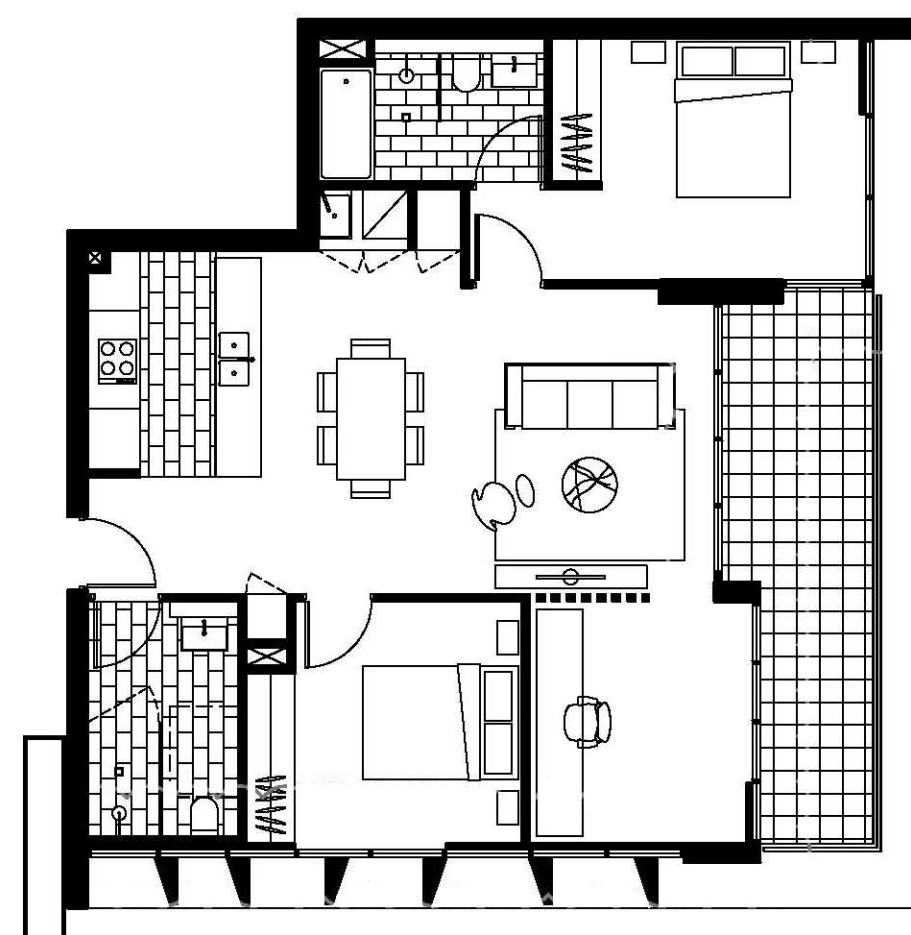
0 2.5 5 10 15
SCALE 1:250

CLIENT
SHOKQI 首开
AUSBAO
PROJECT
GRANVILLE PLACE
DRAWING TITLE
SECTION BB
SCALE
1 : 250 @A1
DATE
2018.12.21
DRAWN
LL
CHECKED
KD
JOB
818
DRAWING
DA3.02
REVISION
J

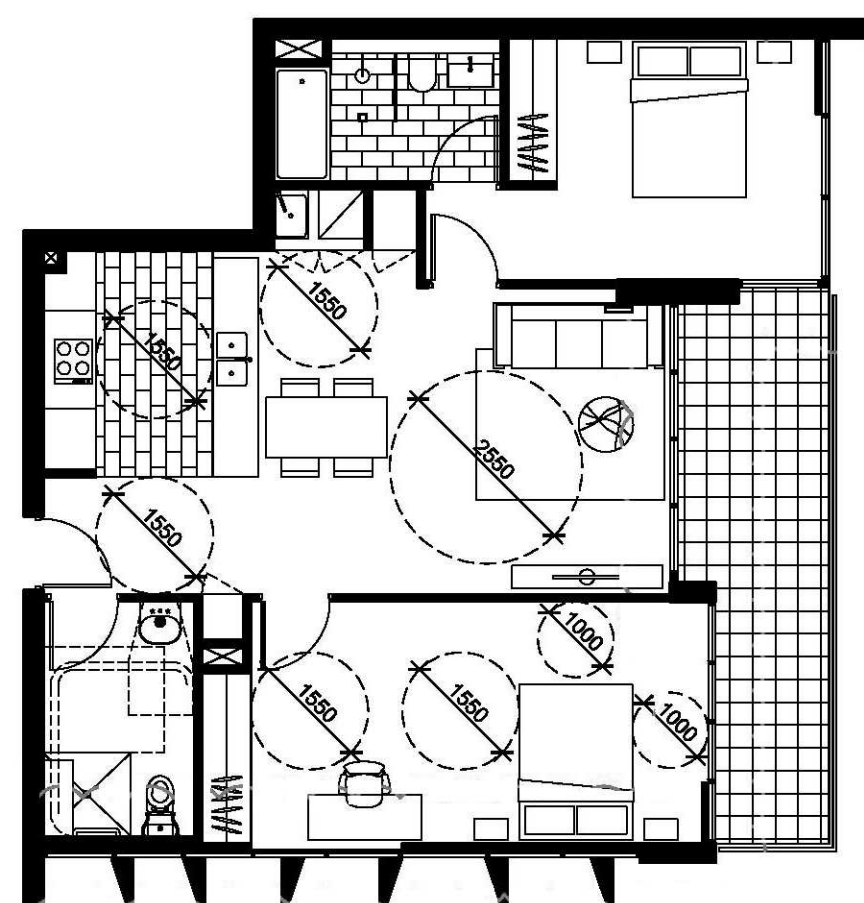


TOTAL OF 17 UNITS:

ADAPTABLE APARTMENT NUMBERS REVISED



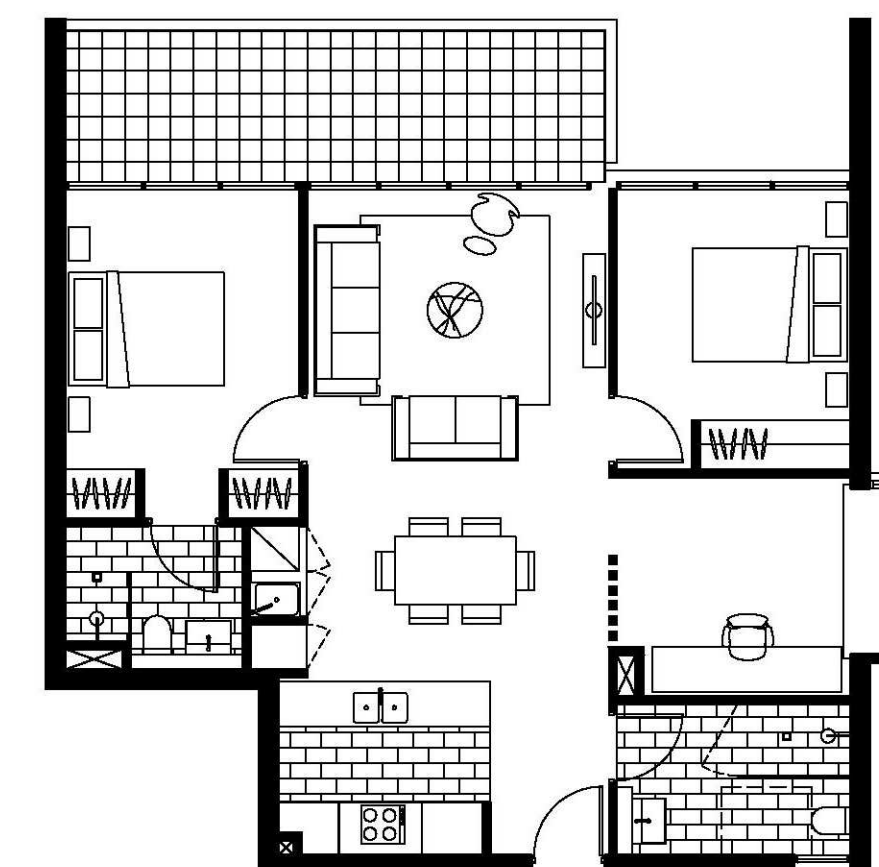
2 BED + MEDIA 86m²
LIVABLE AND PRE-ADAPTATION LAYOUT



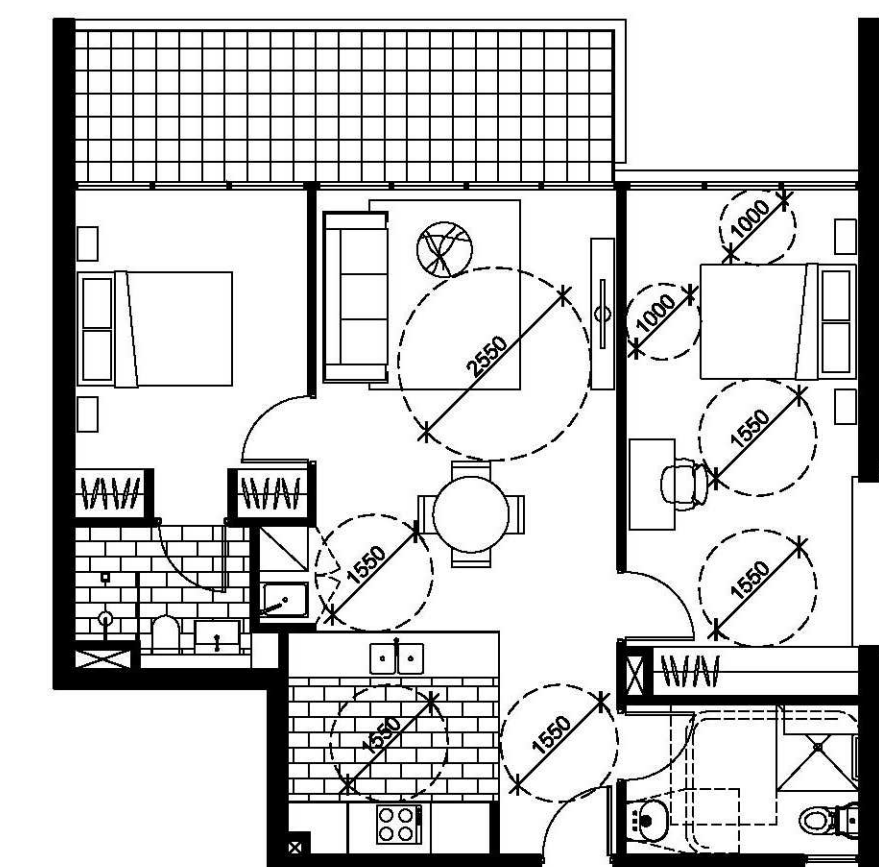
2 BED + MEDIA 86m²
POST-ADAPTATION LAYOUT

TOTAL OF 20 UNITS:

2 BED + MEDIA 83m²
LIVABLE AND PRE-ADAPTATION LAYOUT



2 BED + MEDIA 83m²
LIVABLE AND PRE-ADAPTATION LAYOUT



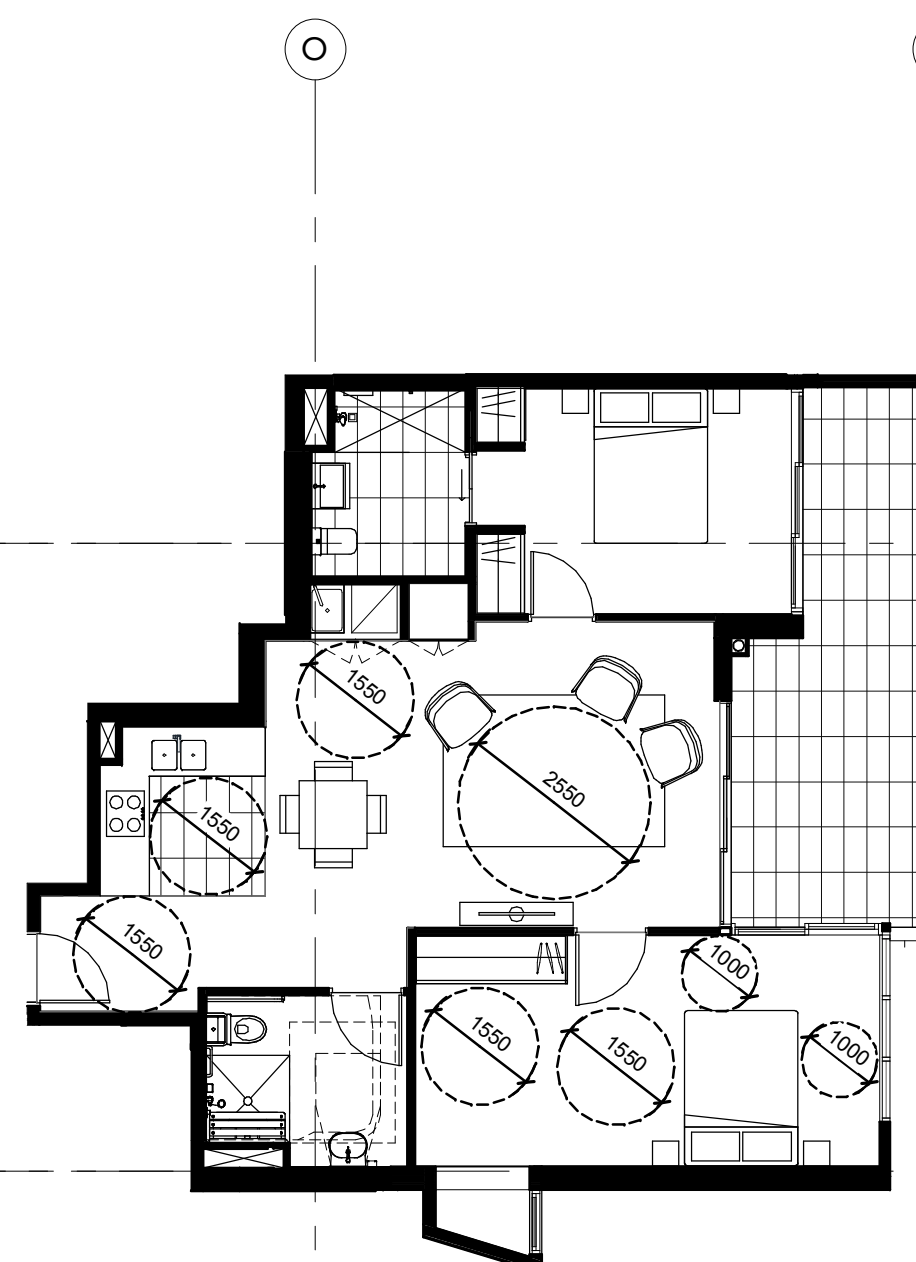
2 BED + MEDIA 83m²
POST-ADAPTATION LAYOUT

TOTAL OF 9 UNITS:

ADAPTABLE APARTMENT TYPE LAYOUT REVISED



2 BED + MEDIA 78m²
LIVABLE AND PRE-ADAPTION LAYOUT



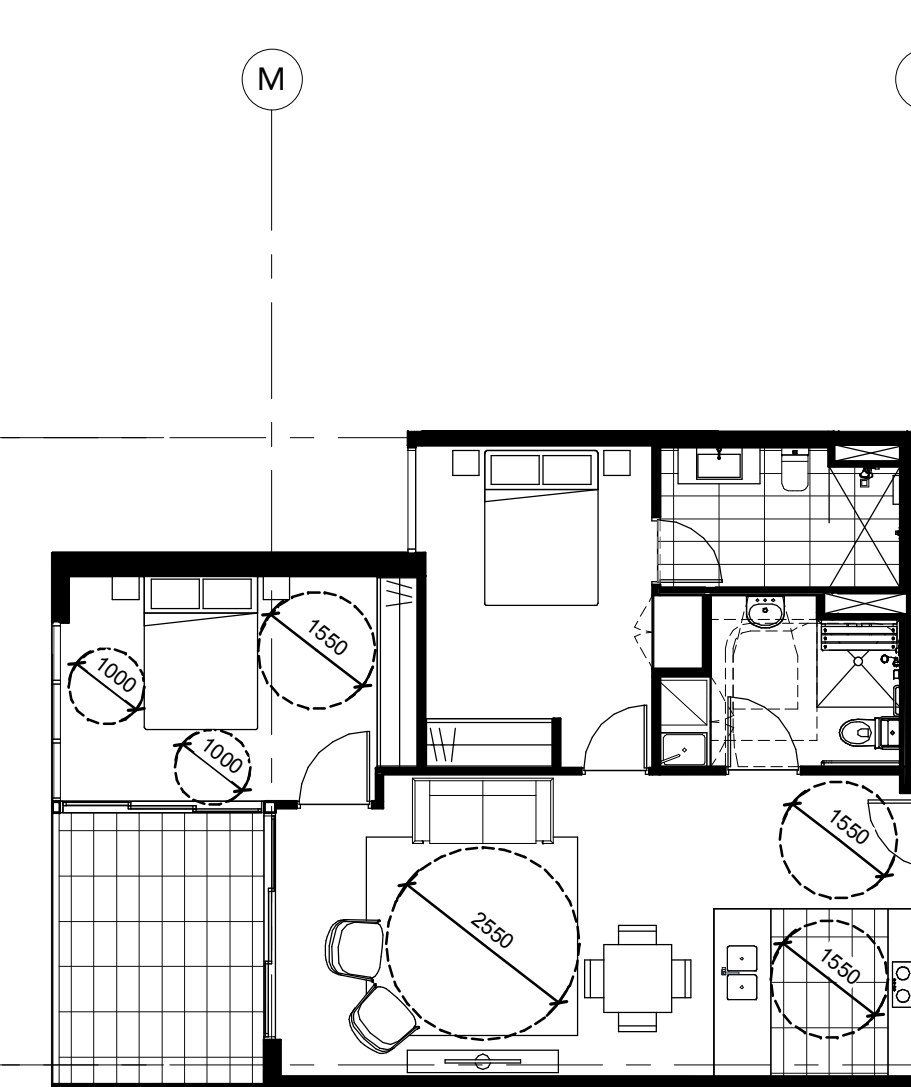
2 BED + MEDIA 78m²
POST-ADAPTION LAYOUT

TOTAL OF 16 UNITS:

— ADDITIONAL ADAPTABLE APARTMENT TYPE



2 BED + MEDIA 75m²
LIVABLE AND PRE-ADAPTION LAYOUT



2 BED + MEDIA 75m²
POST-ADAPTION LAYOUT

KEY TO ARCHITECTURAL DRAWINGS		REVISION	DATE	DESCRIPTION	BY
A	1. Architectural drawings shall not be in conjunction with other consultant drawings and specifications. Any discrepancies shall be referred to Team 2 authors before proceeding with work.	A	2016.07.06	DEVELOPMENT APPLICATION	LP
B	2. All dimensions and levels in millimetres unless noted otherwise. No dimension shall be greater than 1000mm for existing dimensions.	B	2016.08.24	REVISED WORKING SCHEDULES TO MEET BASIS REQUIREMENTS	LP
C	3. All dimensions to be checked on site with any discrepancies referred to Team 2 authors before proceeding with work.	C	2016.11.10	REQUEST FOR ADDITIONAL INFORMATION	LP
D	4. All works to be carried out in accordance with the requirements of the principal controlling authority, current local authority standards.	D	2016.11.25	REQUEST FOR ADDITIONAL INFORMATION	LP
E		E	2017.01.01	SECTION 96	PS
F		F	2018.05.14	SECTION 96	PS
G		G	2018.08.07	SECTION 96	PS
H		H	xxxxxx.xx	SPARE REVISION	KD
I		I	xxxxxx.xx	SPARE REVISION	KD
J		J	2018.12.21	SECTION 4-55-C	LP

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SECTION 4.55



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ABN: 72 104 833 307
REG. VIC. 19240

Builder TBC

SHOKAI 首开 **develop**
AUSBAO PROPERTY GROUP

PROJECT
Granville Place

DRAWING TITLE	ADAPTABLE UNIT PLANS
---------------	----------------------

SCALE	DATE
1 : 100 @A1	2018.12.21
JOB	DRAWING
818	DA5.01

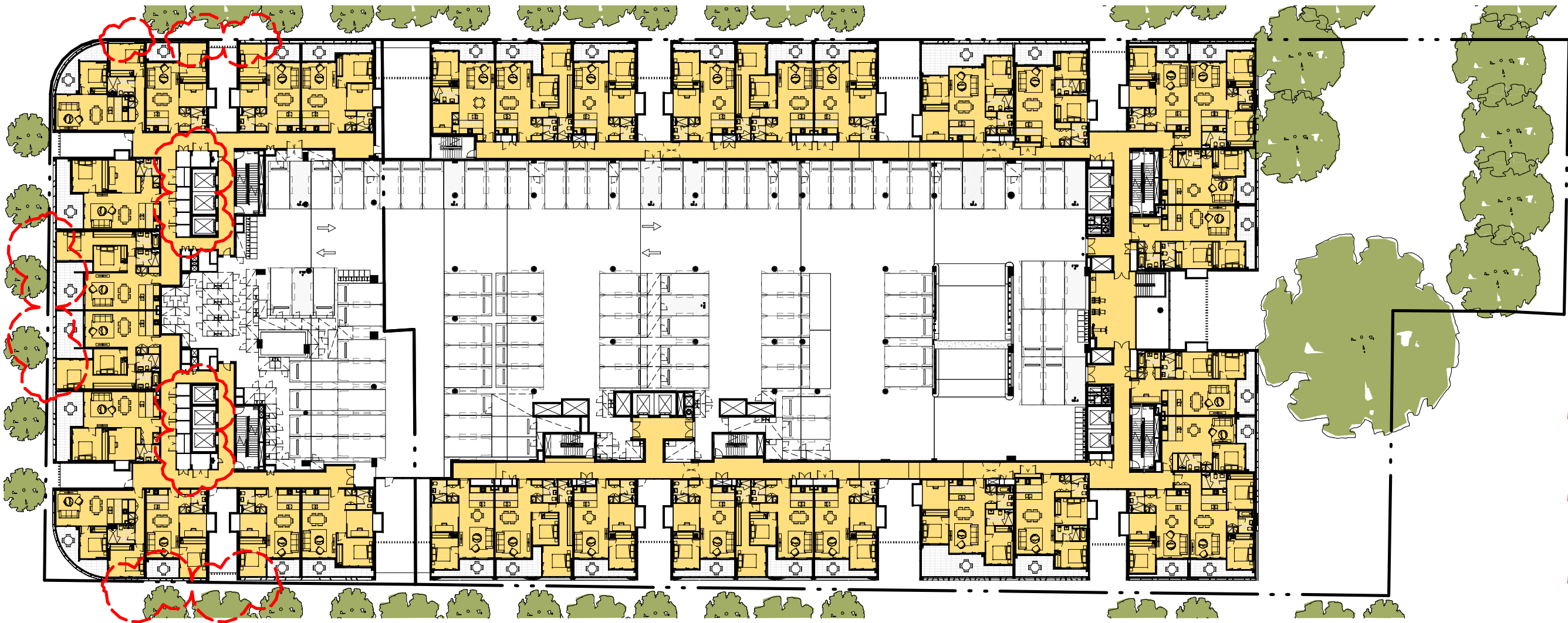
	DRAWN	CHECKED
	LL	KD
		REVISION
		J



1 GROUND LEVEL GFA
1 : 500



2 LEVEL 1 GFA
1 : 500



3 LEVEL 2-3 GFA
1 : 500



4 LEVEL 4 GFA
1 : 500



5 LEVEL 5-13 GFA
1 : 500



6 LEVEL 14-20 GFA
1 : 500

GFA SUMMARY

LEVEL	GFA
B3	30
B2	66
B1	224
G	4,378
1	3,799
2	3,183
3	3,140
4	2,768
5	2,798
6	2,798
7	2,798
8	2,798
9	2,798
10	2,798
11	2,798
12	2,798
13	2,798
14	2,159
15	2,159
16	2,159
17	2,159
18	2,159
19	2,159
20	2,159
TOTAL	57,883

KEY TO ARCHITECTURAL DRAWINGS

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C	2016.12.20	REQUEST FOR ADDITIONAL INFORMATION	LP
D	2017.12.01	SECTION 96	PS
E	2018.02.15	SECTION 96	PS
F	2018.05.14	SECTION 96	PS
G	2018.06.27	SECTION 96-2	PS
H	2018.11.05	AMENDED DA	KD
I	xxxx.xx.xx	SPARE REVISION	KD
J	xxxx.xx.xx	SPARE REVISION	KD
K	2018.12.21	SECTION 4.55-C	KD
L	2019.08.13	REQUEST FOR ADDITIONAL INFORMATION	SO

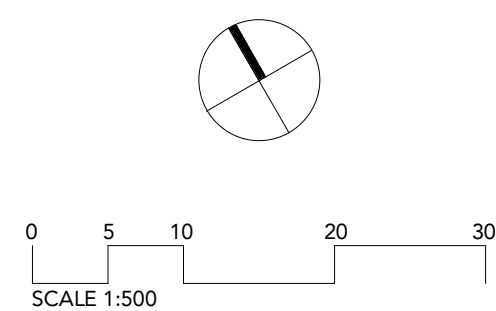
SECTION 4.55

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ABN: 72 104 833 507
REG VIC: 19340



Builder: TBC

SHOKQI 首开
AUSBAO

develotek
PROPERTY GROUP

PROJECT
Granville Place

DRAWING TITLE
GFA DIAGRAMS

SCALE	DATE	DRAWN	CHECKED
1 : 500 @A1	2019.08.13	WW	KD
JOB	DRAWING	REVISION	
818	DA7.01	L	